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REVIEW OF ENVIRONMENTAL FACTORS

Proposed Seniors Housing Development

at

Nos 57 - 61 Bourke Street, North Parramatta NSW 2151

March 2023





Acknowledgement of Country

The Department of Planning and Environment acknowledges that it stands on Aboriginal land. We acknowledge the Traditional Custodians of the land and we show our respect for Elders past, present and emerging through thoughtful and collaborative approaches to our work, seeking to demonstrate our ongoing commitment to providing places in which Aboriginal people are included socially, culturally and economically.

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The following register documents the preparation and issue of this Part 5 Review of Environmental Factors (REF), prepared by *Planning Ingenuity* for the New South Wales Land & Housing Corporation.

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Contents

1	Executive Summary.....	8
2	Introduction.....	10
2.1	Summary of Proposed Activity.....	10
2.2	Demolition.....	13
2.3	Removal of Trees.....	13
2.4	Proposed Dwellings.....	14
3	Existing Site & Locality.....	18
3.1	Existing Site and Immediately Adjoining Development.....	18
3.2	Site Description.....	21
3.3	Neighbouring Development and Locality.....	22
4	Zoning and Permissibility.....	23
5	Planning and Design Framework.....	25
5.1	Environmental Planning and Assessment Act 1979.....	25
5.2	Biodiversity Conservation Act 2016 (BC Act).....	25
5.3	Other Acts.....	25
5.4	Environmental Planning and Assessment Regulation 2021.....	26
5.5	State Environmental Planning Policy (Housing) 2021.....	28
5.6	Other State Environmental Planning Policies.....	43
5.7	Local Planning Controls.....	44
6	Notification, Consultation and Consideration of Responses.....	46
6.1	Council Notification.....	46
6.2	Notification of Occupiers of Adjoining Land and Other Persons.....	50
6.3	Notification of Specified Public Authorities.....	51
7	Review of Environmental Factors.....	52
7.1	Neighbourhood Character.....	52
7.2	Bulk and Density.....	52
7.3	Streetscape.....	53
7.4	Visual Impact.....	53
7.5	Privacy.....	54
7.6	Solar Access.....	54
7.7	Overshadowing.....	54
7.8	Traffic & Parking.....	55
7.9	Flora and Fauna.....	55
7.10	Heritage (European / Indigenous).....	56
7.11	Soils / Contamination / Acid Sulfate Soils / Salinity.....	57
7.12	Drainage / Flood Prone Land / Hydrology/ Water Quality.....	58
7.13	Bushfire Prone Land.....	58
7.14	Noise and Vibration.....	58
7.15	Air Quality.....	59
7.16	Waste Minimisation.....	59
7.17	Resource Use & Availability.....	60
7.18	Community / Social Effects.....	60

7.19	Economic Impact.....	61
7.20	Cumulative Impact Assessment.....	61
8	Conclusion.....	62
8.1	Summary of Key Issues Raised in Assessment.....	62
9	Recommendation	62

List of Figures

Figure 1	Photomontage of the development, Source: Barry Rush & Associates Pty	14
Figure 2	Site/Ground Floor Plan, Source: Barry Rush & Associates Pty	15
Figure 3	First Floor Plan (Source: Barry Rush & Associates Pty)	15
Figure 4	Bourke Street (North) Elevation (Source: Barry Rush & Associates Pty).....	15
Figure 5	Landscape Plan (Source: Barry Rush & Associates Pty).....	16
Figure 6	Location Plan (Source: SIX Maps)	18
Figure 7	Location Plan - Development site –57 (Right) & 59 (Left) Bourke Street, (Source: Google Street View)	18
Figure 8	Development site – 61 Bourke Street, (Source: Google Street View).....	19
Figure 9	Adjoining development – 63 Bourke Street, (Source: Google Street View).....	19
Figure 10	Adjoining development – 55 Bourke Street, (Source: Google Street View).....	20
Figure 11	Adjoining development to the rear – 12 (Left) and 14 (Right) Brown Street, (Source: Google Street View).....	20
Figure 12	Adjoining development to the rear– 10 Brown Street, (Source: Google Street View)	21
Figure 13	More recent development at 51 Bourke Street (west of the site), (Source: Google Street View)	22
Figure 14	Post-war brick dwellings at 53 and 55 Bourke Street (west of the site) (Source: Google Street View)	22
Figure 15	Newer two-storey dual occupancy development at 67 Bourke Street (east of the site) (Source: Google Street View).....	23
Figure 16	Extract of Land Zoning map from Parramatta LEP 2023 Source: Planning portal.....	23
Figure 17	Notification Map.....	50

List of Tables

Table 1	Compliance with subsection 3 of Section 5.5 of the EPA&Act 1979	25
Table 2	Compliance with Section 171 of the EPA Regulations 2021	26
Table 3	Compliance with relevant provisions under sections Part 5, Division 8 of the SEPP	28
Table 4	Compliance with section 84(2) (c) (iii), 85, 88, 89 of the Housing SEPP 2021	30
Table 5	Consideration of Non-Discretionary standards for Independent Living units (Section 108).....	31
Table 6	Accessibility and useability standards [Schedule 4]	32
Table 7	Seniors Living Urban Design Guidelines departures	38

Table 8 Good Design for Social Housing – Relevant Goals & Principles	39
Table 9 Response to Design Principles (Part 5, Division 8)	40
Table 10 Compliance with other applicable State and Environmental Planning Policies.....	43
Table 11 Parramatta Local Environmental Plan 2023	44
Table 12 Parramatta Development Control Plan 2011	45
Table 13 Issues raised in Council submission	46
Table 14 Issues raised by adjoining owners / neighbours	51

1 Executive Summary

The subject site is located at 57-61 Bourke Street, North Parramatta NSW 2151, and is legally described as Lots 23, 24, 25 and 38 in Deposited Plan 35290.

The proposed seniors' housing development is described as follows:

Demolition of 3 existing dwellings and structures, removal of trees, and the construction of 12 independent living seniors housing units comprising 6 x one bedroom and 6 x two bedroom units, with associated landscaping and fencing, at-grade parking for 9 cars, and consolidation into a single lot.

The proposed activity is located in a prescribed zone and seniors housing is also permitted on the site under the Parramatta Local Environmental Plan 2011. Therefore the proposed activity can be carried out by the NSW Land and Housing Corporation (LAHC) without consent under the provisions of Part 5, Division 8 of the *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) as it does not result in more than 40 dwellings on the site and does not exceed 9.5m in height.

Demolition has been considered as part of the proposed activity. Demolition is permitted with consent under the provisions of the applicable local environmental planning instrument and is therefore permitted without consent under the provisions of the Housing SEPP.

The removal of trees on the site is covered by the definition of consent under Section 6 of the Housing SEPP. It has therefore been incorporated in this review of environmental factors under Part 5 of the Environmental Planning and Assessment Act 1979 (EP&A Act) and Part 8 of the *Environmental Planning and Assessment Regulation 2021* (EP&A Regulation).

This REF demonstrates the following:

- from an analysis of the potential environmental impacts associated with the proposed activity, it has been concluded that the preparation of an Environmental Impact Statement is not required;
- based on a review of the potential environmental impacts resulting from the proposed activity it has been determined that, subject to implementation of mitigation measures to be incorporated as identified requirements, the activity will not have any significant adverse impact on the environment;
- the proposed activity will not have any effect on matters of national significance and its approval under the *Commonwealth Environment Protection and Biodiversity Conservation Act 1999* is not required;
- the design of the proposed activity has adequately taken into account design principles and better practices set out in the *Seniors Living Policy: Urban Design Guidelines for Infill Development* and taken into consideration *Good Design for Social Housing* and LAHC's *Dwelling Requirements*;
- the site planning and design of the proposed activity adequately address the applicable local environmental planning and development controls of the City of Parramatta Council;
- a BASIX certificate and NatHERS certificate and stamped plans have been submitted for the proposed activity demonstrating compliance with the State Government's environmental sustainability targets; and
- there are no separate approvals, authorisations or notifications required in relation to the proposed activity prior to determination under Part 5 of the EP&A Act or under any other Acts.

City of Parramatta Council and occupiers of adjoining land were notified of the proposed activity under the provisions of Housing SEPP. A response was received from Council dated 5 September 2022. Comments on the response are provided in Section 6.1 of this REF. Two submissions were received from occupiers of adjoining land. Comments on the submissions are provided in Section 6.2 of this REF.

The proposed activity, if carried out in accordance with the environmental mitigation measures outlined in the REF, will not result in any significant and long term negative impacts on the environment and can proceed subject to the implementation of the Identified Requirements in ***Appendix C***.

2 Introduction

This Review of Environmental Factors (REF) under Part 5 of the *Environmental Planning and Assessment Act 1979* (EP&A Act) is for an activity involving the demolition of existing dwellings and structures, removal of trees, and the construction of a 12 unit seniors housing development comprising 6 x one bedroom and 6 x two bedroom independent living units, with associated landscaping and fencing, at-grade parking for 9 cars, and consolidation of the 3 lots into a single lot at Nos 57-61 Bourke Street, North Parramatta. The proposal includes discharge of stormwater to an easement for drainage through No 10 Brown Street.

The activity* will be carried out by, or on behalf of, NSW Land and Housing Corporation (LAHC) and is 'development without consent' under the Housing SEPP.

This REF has been prepared by Planning Ingenuity on behalf of LAHC in satisfaction of the provisions of Part 5 of the Environmental Planning & Assessment Act 1979 (EP&A Act) and Part 8 of the Environmental Planning & Assessment Regulation (EP&A Regulations) 2021.

A Statement of Compliance accompanying this REF certifies that in accordance with the requirements of the EP&A Act, all matters affecting or likely to affect the environment by reason of the proposed activity have been taken into account to the fullest extent possible and the activity will not have a significant impact on the environment.

***Note:** The proposed development is permitted without consent and is therefore subject to environmental impact assessment as an 'activity' under Part 5 of the Environmental Planning and Assessment Act 1979.

2.1 Summary of Proposed Activity

The main features of the development are summarised as follows:

- site preparation works including demolition of 3 existing dwellings and structures, and associated earthworks;
- removal of 26 trees within the subject site;
- construction of 12 independent living units, comprising 6 x one bedroom and 6 two bedroom units;
- surface parking for 9 vehicles;
- associated landscaping and fencing;
- consolidation of the 3 lots into a single lot; and
- creation of an easement to drain water.

The proposal is detailed in the following plans, drawings and specialist reports and supporting information:

Plans, Drawings & Supporting Document Details

The development is outlined in the following plans and drawings:

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Architectural – Appendix E				
Coversheet	A01	Rev E	28.11.2022	Barry Rush & Associates Pty
Site Analysis Plan	A02	Rev D	18.02.2022	Barry Rush & Associates Pty

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Site Plan	A03	Rev F	28.11.2022	Barry Rush & Associates Pty
Ground floor plan	A04	Rev F	28.11.2022	Barry Rush & Associates Pty
First Floor plan	A05	Rev E	28.11.2022	Barry Rush & Associates Pty
Roof Plan	A06	Rev E	28.11.2022	Barry Rush & Associates Pty
Building Elevations	A07	Rev E	28.11.2022	Barry Rush & Associates Pty
Building elevations & sections	A08	Rev D	18.02.2022	Barry Rush & Associates Pty
Development Data & Finishes Schedule	A09	Rev D	18.02.2022	Barry Rush & Associates Pty
Demolition Plan	A10	Rev B	10.12.2021	Barry Rush & Associates Pty
Block Analysis Plan	A11	Rev B	10.12.2021	Barry Rush & Associates Pty
Shadow Diagrams	A12	Rev A	10.12.2021	Barry Rush & Associates Pty
Views from Sun Diagrams	A13	Rev B	17.01.2022	Barry Rush & Associates Pty
Cut & Fill Plan	A15	Rev D	18.02.2022	Barry Rush & Associates Pty
Cross Ventilation Diagram	A16	Rev A	28.11.2022	Barry Rush & Associates Pty
Landscape Plan	1 of 2	Rev F	29.11.2022	Greenland Design, landscape consultant
Landscape Details and specification	2 of 2	Rev F	29.11.2022	Greenland Design, landscape consultant
Stormwater Management				
Cover Sheet and Drawing Schedule	C1	Rev D	25.11.2022	ACOR Consultants, stormwater consultant
Stormwater Management Plan	C2	Rev D	25.11.2022	ACOR Consultants, stormwater consultant
Stormwater Management Plan – Sheet no 1	C3	Rev D	25.11.2022	ACOR Consultants, stormwater consultant
OSD Calculation Sheet & Maintenance Schedule	C4	Rev D	25.11.2022	ACOR Consultants, stormwater consultant
OSD Checklist Sheet 1 of 2	C5	Rev D	25.11.2022	ACOR Consultants, stormwater consultant
OSD Checklist Sheet 2 of 2	C6	Rev D	25.11.2022	ACOR Consultants, stormwater consultant
Erosion & Sediment Control Plan	C7	Rev D	25.11.2022	ACOR Consultants, stormwater consultant
Erosion & Sediment Control Notes & Details	C8	Rev D	25.11.2022	ACOR Consultants, stormwater consultant
Proposed Drainage Easement Alignment Plan	C9	Rev D	25.11.2022	ACOR Consultants, stormwater consultant
Hydraulic services				
Coversheet	HY-DA-000	Rev 2	22.02.2022	Marline, building services engineers

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Site Services	HY-DA-100	Rev 2	22.02.2022	Marline, building services engineers
Electrical Services				
Coversheet	EL-DA-000	Rev 2	22.02.2022	Marline, building services engineers
Site Services	EL-DA-100	Rev 2	22.02.2022	Marline, building services engineers
Notification Plans – Appendix B	N01	-	06.06.2022	Barry Rush and Associates
Detail and Contour Survey Sheet 1 – Appendix O	Job No.210718	-	28.04.2021	RPS Group, consultant surveyors
Detail and Contour Survey Sheet 2	Job No.210718	-	28.04.2021	RPS Group, consultant surveyors
Longitudinal Sections Sheet 3	Job No.210718	-	28.04.2021	RPS Group, consultant surveyors
Detail and Contour Survey 10 Brown Street Sheet 1	Job No.210718	-	28.04.2021	RPS Group, consultant surveyors
Specialist Reports				
Arborist's Impact Assessment and Tree Management Plan – Appendix F	-	-	2 December 2021	Creative Planning Solutions
Access Report - Appendix G	-	-	5 May 2022	Accessibility Solutions
BASIX Certificate Appendix H	BASIX Certificate No 1267801M	-	21.02.2022	Building Sustainability Assessments – Gavin Chambers, Accreditation No DMN/13/1491
NatHERS Certificate	NatHERS Certificate No 0005015680	-	14.07.2020	Building Sustainability Assessments – Gavin Chambers, Accreditation No DMN/13/1491
	NatHERS assessment BSA Reference 17792	-	21.02.2022	Building Sustainability Assessments – Gavin Chambers, Accreditation No DMN/13/1491
BCA Design Compliance Assessment - Appendix I	-	-	11 March 2022	BCA Vision
Geotechnical Investigation and Acid Sulfate Soil Assessment - Appendix J	-	-	May 2021	STS Geotechnics Pty Ltd
Waste Management Plan – Appendix K	-	-	18 January 2022	Barry Rush and Associates
Traffic and Parking Impact Assessment- Appendix L	-	-	May 2022	APEX Engineers Pty Ltd

Section 10.7 Planning Certificates – Appendix A

Section 10.7(2)(5) Planning Certificate No 2023/1529 – No. 57 Bourke Street, North Parramatta, NSW 2151, Lot 23 DP 35290, dated 07.03.2023.

Section 10.7(2)(5) Planning Certificate No 2023/1530 – No 59 Bourke Street, North Parramatta, NSW 2151, Lot 24 DP 35290, dated 07.03.2023.

Section 10.7(2)(5) Planning Certificate No 2023/1531 – No 61 Bourke Street, North Parramatta, NSW 2151, Lot 25 DP 35290, 07.03.2023.

Seniors Living Urban Design Guidelines, LAHC Dwelling Requirements & Good Design for Social Housing – Appendix D

Housing for Seniors Checklist.

AHIMS – Appendix M

AHIMS Search Result, 57-61 Bourke Street, North Parramatta – 50m search buffer, date 14.06.2022

Titles and Deposited Plans – Appendix N

Certificate of Title Folio 25/35290, search date 12.01.2021

Certificate of Title Folio 23/35290, search date 12.01.2021

Certificate of Title Folio 24/35290, search date 12.01.2021

Deposited Plan 35290

Design compliance and checklists – Appendix P

Submission Requirements Checklist, dated 20.06.2022

Architect's Certificate of Building Design Compliance, dated 29.11.2022

Architect's Locality Character Statement dated 17.01.2022

Engineer's Certificate of Stormwater Design Compliance, dated 25.11.2022

2.2 Demolition

The proposed activity includes demolition of 3 single storey detached dwelling houses and associated structures, as identified in the Demolition Plan (refer to **Appendix E**).

2.3 Removal of Trees

Of the 35 trees located within the site and adjacent allotments, the proposal is for the removal of 26 trees.

Of the trees proposed to be removed 12 are considered as exempt species or under the height of 5m in accordance with Parramatta DCP Section 5.4. The other 14 trees proposed to be removed are considered to be of low retention value.

The tree removal within the site boundaries is recommended primarily to accommodate the proposed development or the individual species are recommended for removal as they are not considered to be significant or worthy of retention (refer to submitted Arboricultural Impact Assessment in **Appendix F**).

More appropriate tree plantings, including trees capable of reaching a mature height of 13 - 15m, will be provided as part of the proposed landscaping plan to compensate for the loss of trees removed (refer to submitted Landscape Plan in **Appendix E**).

2.4 Proposed Dwellings

Of the 12 independent living units, 6 (ground floor units) have been designed as liveable units which are capable of being adapted for accessibility should the need arise in the future. A photomontage of the development is provided at **Figure 1**, below.



Figure 1 Photomontage of the development, Source: Barry Rush & Associates Pty

The proposed housing represents a contemporary, high quality design, which will be an improvement in comparison to the existing dwellings. The use of face brick and metal clad for external walls and Colorbond metal roofing is consistent with the existing and developing character of the North Parramatta suburb and the Jeffery Avenue Special Character Area. Eight of the 12 proposed units will address the street (Units 1, 3, 7 & 9 on the ground floor and Units 2, 4, 8 & 10 on the first floor) with living areas and living area windows facing the street for passive surveillance. The proposed design is illustrated at **Figures 2-4**, below

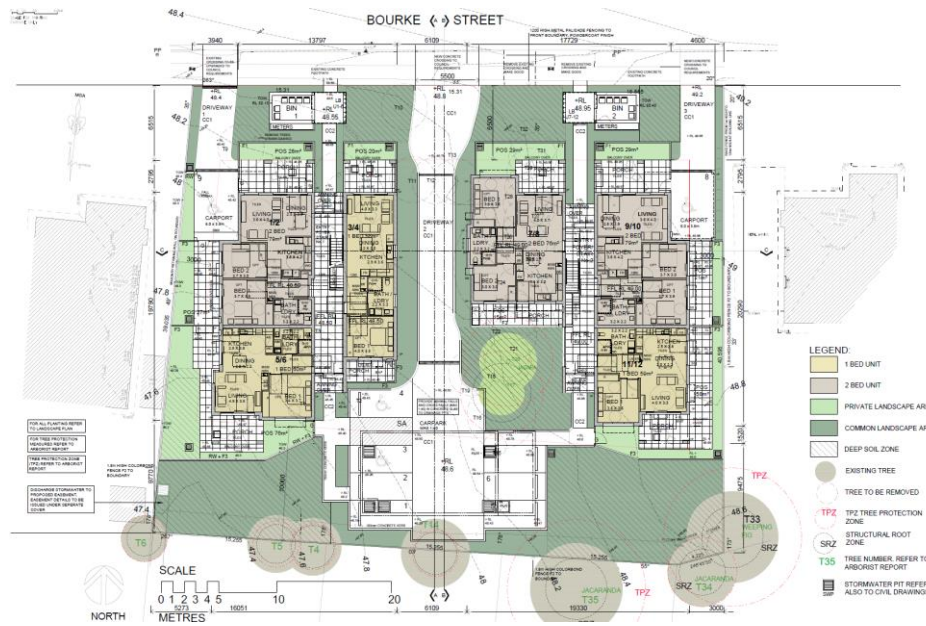


Figure 2 Site/Ground Floor Plan, Source: Barry Rush & Associates Pty



Figure 3 First Floor Plan (Source: Barry Rush & Associates Pty)

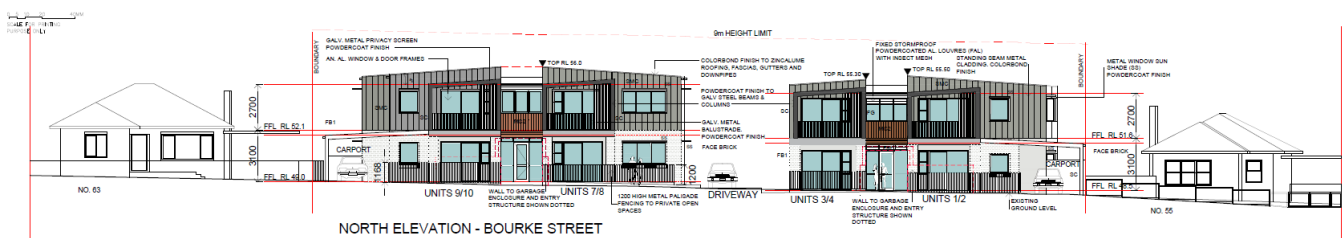


Figure 4 Bourke Street (North) Elevation (Source: Barry Rush & Associates Pty)

Minor cut and fill is proposed to provide a level building platform. This degree of cut and fill is within Council's DCP standards. Small retaining walls are proposed to assist with the long term stabilisation of the east and west boundaries as shown on the Landscape Plan (refer to **Appendix E**).

A variety of new landscape plantings are proposed to offset the proposed tree removal and also to enhance the appearance of the site and the microclimate for new occupants and neighbours. New plantings will consist of a mixture of native trees, shrubs and groundcovers, which will enhance landscaped setbacks and contribute to the streetscape.

Each unit will be provided with its own enclosed private open space area. All private open spaces are directly accessible from the living areas.

An extract from the proposed Landscape Plan is provided at **Figure 5**.



Figure 5 Landscape Plan (Source: Barry Rush & Associates Pty)

A total of 9 at-grade car parking spaces will be provided on the site, including 4 accessible spaces. Two of the accessible spaces are dedicated to Unit 1 and Unit 10.

Stormwater will be collected via a series of stormwater pits and gutters on the site connected to an underground detention tank draining to the existing local stormwater infrastructure via an easement to the southeast corner of the site. Roof water will be collected from downpipes and connected to an underground rainwater tank for recycling with overflow connected to the underground detention tank. Stormwater connection to the existing network in Brown Street will be via an easement for drainage over 10 Brown Street.

A new 1.8m high Colorbond fence is proposed along the side and rear boundaries. A combination of split face sandstone block work and slatted metal fencing will be provided at the front of the development orientated to Bourke Street.

3 Existing Site & Locality

3.1 Existing Site and Immediately Adjoining Development

The site is located in the Parramatta local government area (LGA) and comprises 3 residential allotments and drainage via an easement over an adjoining lot to the rear. A location plan is provided at **Figure 6**.

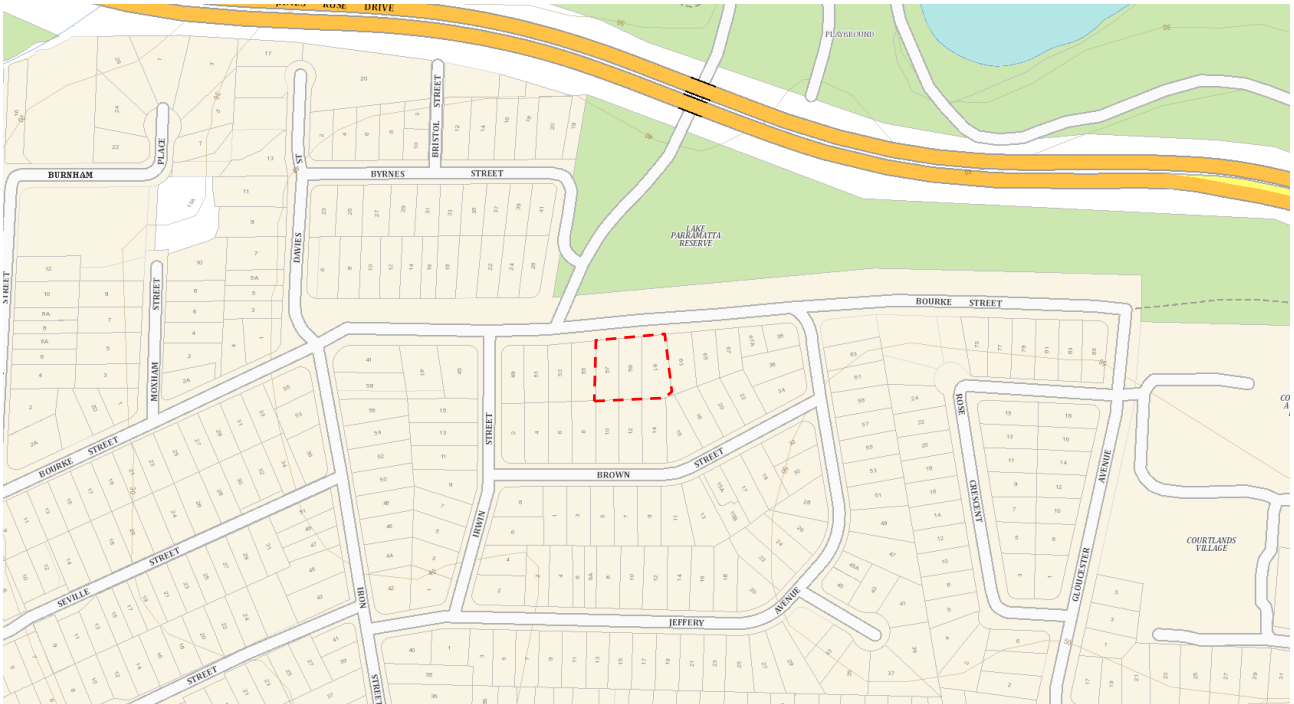


Figure 6 Location Plan (Source: SIX Maps)

The site currently contains 3 single storey brick dwellings with pitched tiled roofs and associated structures (refer to photographs at **Figures 7 & 8**).



Figure 7 Location Plan - Development site –57 (Right) & 59 (Left) Bourke Street, (Source: Google Street View)

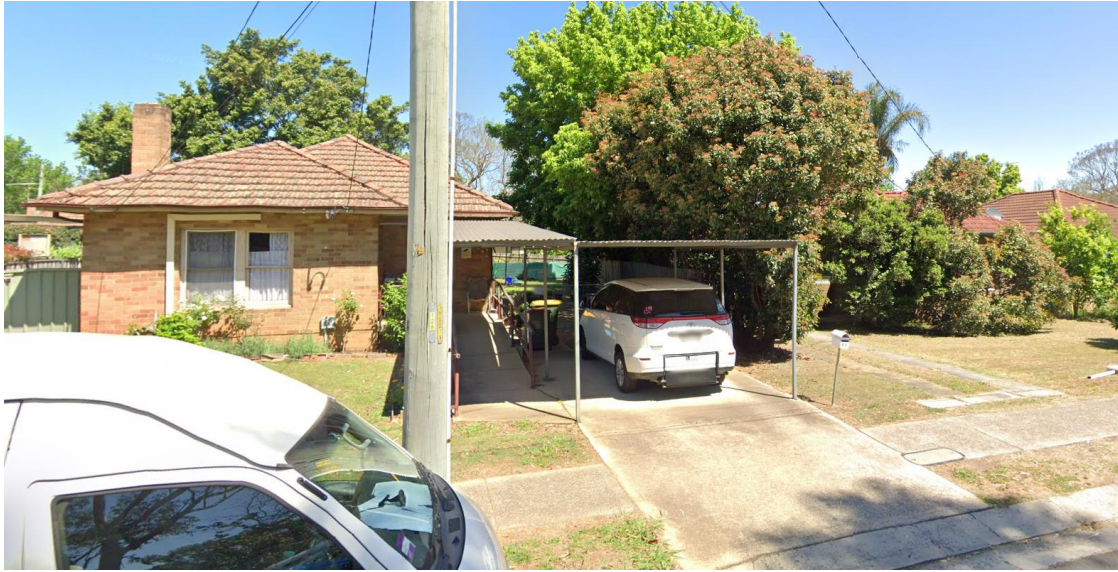


Figure 8 Development site – 61 Bourke Street, (Source: Google Street View)

The property immediately to the east (63 Bourke Street) contains a single storey, detached rendered brick dwelling house enclosed by hedging (refer photograph at **Figure 9**). The property to the west (55 Bourke Street) contains a detached single storey brick dwelling house (refer to photograph at **Figure 10**). Adjoining to the rear is 10, 12 & 14 Brown Street which each contain a single storey brick dwelling house and associated structures (refer to photographs at **Figure 11 & 12**).



Figure 9 Adjoining development – 63 Bourke Street, (Source: Google Street View)



Figure 10 Adjoining development – 55 Bourke Street, (Source: Google Street View)



Figure 11 Adjoining development to the rear – 12 (Left) and 14 (Right) Brown Street, (Source: Google Street View)



Figure 12 Adjoining development to the rear– 10 Brown Street, (Source: Google Street View)

3.2 Site Description

Copies of the Section 10.7(2) & (5) Planning Certificates (Nos 2023/1529, 2023/1530, and 2023/1531) dated 07.03.2023 are provided in **Appendix A**.

The site has a total area of 1,937.5m², a frontage to Bourke Street of 46.17m, side boundaries of 40.595m (East) and 39.035m (West), and a rear boundary of 49.99m (refer to the Survey Plan in **Appendix P**).

The site falls less than 1.8m to the southwest. A stormwater drainage easement will be provided alongside the western boundary of 10 Brown Street.

An arboricultural impact assessment observed 35 trees located within the site and adjoining within 5m of its boundaries. These trees are generally located within western side setbacks of each allotment or within the front setbacks of the existing dwellings. Nine trees will be retained and protected out of which 7 trees are considered to be of medium to high retention value (refer to Arboricultural Impact Assessment in **Appendix F**)

Water, electricity, sewer and telephone facilities are available to the site (refer to the Survey Plan for the location of available services at **Appendix P**). All services are located along the street alignment apart from sewer, which runs parallel to the rear (southern) property boundary.

There are no encumbrances on title, Section 10.7 certificates or indicated on the Plan of Survey.

3.3 Neighbouring Development and Locality

The site is located within an established residential area which was first subdivided by the NSW Housing Commission in 1947. The area largely retains this original subdivision pattern. Built form in the locality is characterised by detached, single storey, brick dwelling houses with tiled roofs, built shortly after the original subdivision, interspersed with more recent two-storey residential dwellings and occasional dual occupancy developments (refer to photographs at **Figures 13, 14 & 15**).



Figure 13 More recent development at 51 Bourke Street (west of the site), (Source: Google Street View)



Figure 14 Post-war brick dwellings at 53 and 55 Bourke Street (west of the site) (Source: Google Street View)



Figure 15 Newer two-storey dual occupancy development at 67 Bourke Street (east of the site) (Source: Google Street View)

There are two bus stops located on Bourke Street within 150m walking distance and via accessible grades to the west and east of the site (refer to the Long Section Surveys provided at **Appendix P**). These bus stops are serviced by Route 609 which connects to Parramatta Railway Station. Further afield, within 500m walking distance to the west on Church Street, services can be accessed on Bus Routes 601, 603, 604, 606 and 706, connecting to Blacktown, Hornsby, Dural, Rouse Hill, Winston Hills and Parramatta.

4 Zoning and Permissibility

The site is zoned R2 Low Density Residential under *Parramatta Local Environmental Plan 2023* (PLEP 2023). The proposed development is defined as ‘seniors housing’ under the provisions of PLEP 2023 and is permissible with Council’s consent in the R2 zone. The site’s zoning context is illustrated at **Figure 16**.

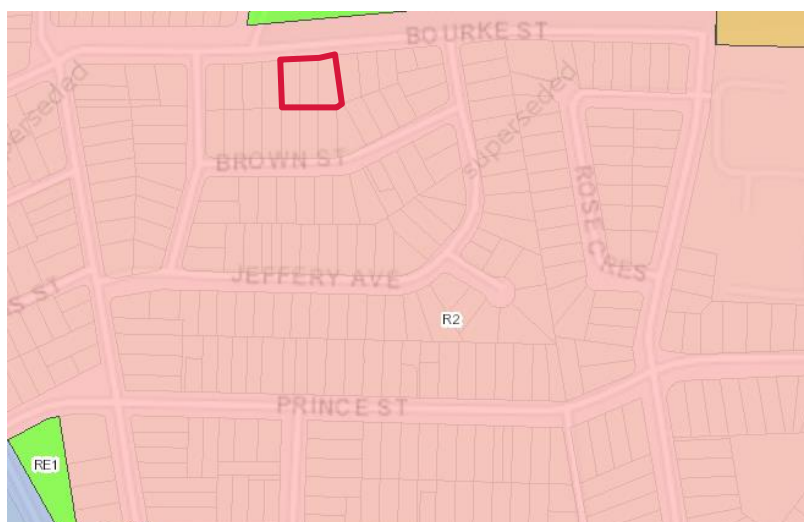


Figure 16 Extract of Land Zoning map from Parramatta LEP 2023 Source: Planning portal

Senior's housing is permitted in the R2 zone under PLEP 2023. The relevant objective of the R2 zone, as set out in PLEP2023 is:

- *To provide for the housing needs of the community within a low-density residential environment.*

The proposed development provides housing that meets the identified needs of the community and will be consistent with the objective.

Section 108B of the Housing SEPP permits seniors housing development that may be carried out 'with consent' to be carried out by LAHC as 'development without consent' subject to the provisions set out under that clause. **Table 3** in subsection 5.5 of this REF demonstrates compliance with the relevant provisions of Division 8 of the SEPP.

5 Planning and Design Framework

5.1 Environmental Planning and Assessment Act 1979

5.1.1 Duty to consider environmental impact [Section 5.5]

Section 5.5(1) states that, for the purpose of attaining the objects of the EP&A Act relating to the protection and enhancement of the environment, a determining authority in its consideration of an activity shall, notwithstanding any other provisions of the Act or the provisions of any other Act or of any instrument made under the EP&A Act or any other Act, examine and take into account to the fullest extent possible all matters affecting or likely to affect the environment by reason of that activity.

Table 1 below demonstrates the effect of the proposed development activity on the matters listed for consideration in subsection 3 of Section 5.5.

Table 1 Compliance with subsection 3 of Section 5.5 of the EPA&Act 1979

Matters for consideration under sub-section 3 of Section 5.5 of the EP&A Act	
Matter for consideration	Effect of Activity
<p><i>Sub-section 3</i></p> <p>Without limiting subsection (1), a determining authority shall consider the effect of an activity on any wilderness area (within the meaning of the <i>Wilderness Act 1987</i>) in the locality in which the activity is intended to be carried on.</p>	<p>No effect, as the site and surrounding areas are not within a wilderness area (within the meaning of the <i>Wilderness Act 1987</i>).</p>

5.2 Biodiversity Conservation Act 2016 (BC Act)

Part 7 of the BC Act sets out the test for determining whether a proposed development or activity is likely to significantly affect threatened species, ecological communities or their habitats. For the purposes of Part 5 of the EP&A Act, an activity is to be regarded as an activity likely to significantly affect the environment if it is likely to significantly affect threatened species.

Based on the criteria set out in Section 7.3 of the BC Act, the proposed activity is unlikely to affect threatened species, ecological communities or their habitats and therefore no further assessment is necessary. This is because the land does not contain threatened species, endangered ecological communities or constitute habitat of threatened species or ecological communities. The proposed activity will neither be a key threatening process and the land is not part of or in the vicinity of any declared area of outstanding biodiversity value. Therefore no further assessment against the provisions of BC Act is necessary.

5.3 Other Acts

No other State and Commonwealth Acts are applicable to the proposed activity.

5.4 Environmental Planning and Assessment Regulation 2021

5.4.1 Factors that must be taken into account concerning the impact of an activity on the environment [Section 171]

For the purposes of Part 5 of the EP&A Act, the factors in **Table 2** below have been taken into account in considering the likely impact of the proposed activity on the environment. The table and comments made in this section of the REF are not mutually exclusive and are to be read in conjunction with the other sections of the REF dealing with the environmental impacts of the proposed development activity.

Table 2 Compliance with Section 171 of the EPA Regulations 2021

Factors to be taken into account concerning the impact of an activity on the environment.	Relevant?	Impact		
	Yes/NA	Temporary	Minor	Significant [Note 1]
Is the activity of a kind for which specific guidelines are in force? If so the factors to be taken into account when considering the likely impact of the activity on the environment are those referred to in the guidelines. [Note 1]	N/A			
Is the activity of any other kind for which general guidelines are in force? If so the factors to be taken into account when considering the likely impact of the activity on the environment are those referred to in those guidelines. [Note 2]	Yes	x		
If no guidelines are in force, have the following been taken into account and any likely impact considered				
(a) environmental impact on the community;	Y	x	x	
(b) transformation of a locality;	Y		x	
(c) environmental impact on the ecosystems of the locality;	Y		x	
(d) reduction of the aesthetic, recreational, scientific or other environmental quality or value of a locality;	Y	x	x	
(e) effect on a locality, place or building having aesthetic, anthropological, architectural, cultural, historical, scientific or social significance or other special value for present or future generations;	Y		x	
(f) impact on the habitat of protected animals (within the meaning of Biodiversity Conservation Act 2016);	N/A			
(g) endangering of any species of animal, plant or other form of life, whether living on land, in water or in the air;	N/A			
(h) long-term effects on the environment;	Y		x	
(i) degradation of the quality of the environment;	Y	x	x	
(j) risk to the safety of the environment;	N/A			
(k) reduction in the range of beneficial uses of the environment;	N/A			
(l) pollution of the environment;	Y	x	x	
(m) environmental problems associated with the disposal of waste;	Y		x	
(n) increased demands on resources (natural or otherwise) that are, or are likely to become, in short supply;	Y		x	
(o) cumulative environmental effect with other existing or likely future activities.	Y		x	

(p) impact on coastal processes and coastal hazards, including those under projected climate change conditions. [Note 3]	N/A			
(q) applicable local strategic planning statements, regional strategic plans or district strategic plans made under the Act, Division 3.1,	Y discussed below in 5.4.2		x	
(r) other relevant environmental factors.	Y		x	

Note 1: A significant impact triggers the preparation of an Environmental Impact Statement.

Note 2: This means Department of Planning and Environment issued “Guidelines for Division 5.1 assessments” made under Section 170 of the EPA regulation 2021 and excludes guidelines such as the *Seniors Living Urban Design Guidelines*, that are in force under other legislation or instruments.

Note 3: The *NSW Coastal Planning Guideline: Adapting to Sea Level Rise* provides guidance on considering projected climate change conditions such as sea level rise.

The proposed seniors housing development is not expected to generate any significant or long-term impacts on the environment. The short term impacts, during construction, will be offset by positive social outcomes in the long term social benefits of providing affordable housing that meets the needs of the community. The applicable Local Strategic Planning Statement (LSPS) and Community Strategic Plan are considered below at Section 5.4.2 of this report.

5.4.2 Strategic Planning Framework

City of Parramatta Local Strategic Planning Statement – City Plan 2036

The Parramatta Local Strategic Planning Statement came into effect on the 31st of March, 2020. It is a 20 year plan that identifies 16 Planning Priorities for the LGA, focused around four themes:

1. Local Planning Priorities
2. Liveability Planning Priorities
3. Productivity Planning Priorities
4. Sustainability Planning Priorities

Of note are Priority 3.2.1 and Priority 3.2.2 which seek to promote diverse housing options and housing affordability, respectively. The proposed 12 seniors’ living units, will assist in diversifying housing options in the Parramatta LGA. Proposed seniors living housing will accommodate the ageing population in the locality. Furthermore, the housing will be managed by the LAHC, ensuring it remains affordable for the foreseeable future. The site is well served by public transport options and the proposal includes an energy efficient and accessible design, helping the development meet LSPS priorities for sustainability, transport and access.

Parramatta Community Strategic Plan 2018-2038

The Parramatta Community Strategic Plan 2018-2038 was adopted by Council in June 2018. It is a 20 year plan which outlines the City of Parramatta’s key strategic planning goals and the actions the city will take to achieve them. These goals are informed by six broad themes being:

1. Fair
2. Accessible
3. Welcoming
4. Green
5. Thriving
6. Innovative

The proposed development aligns with a series of Council’s strategic planning goals. Notably goal F.2 which seeks to increase the stock of affordable and diverse housing options that meet the needs of all ages.

5.5 State Environmental Planning Policy (Housing) 2021

5.5.1 Development without Consent

The proposed activity includes demolition of existing structures on the site. Section 42(2)(a) of the Housing SEPP permits LAHC to undertake demolition as “*development without consent*” provided the land the structures are located on is “*non-heritage land*” and is not “*identified in an environmental planning instrument as being within a heritage conservation area*” The subject site contains neither of these heritage notations and therefore demolition can be undertaken by LAHC as “*development without consent*”. A waste management plan has been prepared which makes various recommendations and there are various Identified Requirements recommended in Appendix C which deal with site safety and environmental protection during demolition and construction.

Section 108B of the Housing SEPP permits seniors housing to be carried out by LAHC as “*development without consent*” subject to the provisions set out within Part 5, Division 8.

Table 3 Compliance with relevant provisions under sections Part 5, Division 8 of the SEPP

Provision	Compliance
108A – Development to which Division applies This Division applies to development for purposes of senior housing involving the erection of a building on land -	
(a) on which development for purposes of seniors housing is permitted with consent under another environmental planning instrument, or	The development is permissible with consent within the site’s R2 Zone under the PLEP 2023.
(b) in a prescribed zone	The site is zoned R2 which is a prescribed zone in accordance with Part 5, Division 1, Clause 79 of the Housing SEPP.
108B – Seniors housing permitted without development consent (1) Development to which this Division applies may be carried out by or on behalf of the Land and Housing Corporation without development consent if -	
(a) the Land and Housing Corporation has considered the applicable development standards specified in sections 84(2)(c)(iii), 85, 88, 89 and 108, and	Consideration of the standards is provided in Table 4 & Table 5 below.
(b) will not result in a building with a height of more than 9.5 m, and	The maximum proposed building height is 7.8m.
(c) the development will result in more than 40 dwellings on the site.	The development is for 12 dwellings.
(2) State Environmental Planning Policy (Transport and Infrastructure) 2021, sections 2.15 and 2.17 apply to the development and, in the application of the clauses –	Sections 2.15 and 2.17 of State Environmental Planning Policy (Transport and Infrastructure) 2021 7is not applicable to the site or development.
(a) a reference in section 2.15 to “this Chapter” is taken to be a reference to this section, and	Noted.

(b) a reference in the sections to a public authority is taken to be a reference to the relevant authority.	Noted.
108C – Requirements for carrying out seniors housing (1) Before carrying out development to which this Division applies, a relevant authority must –	
(a) request the council to nominate a person or persons who must, in the council's opinion, be notified of the development, and	Advice was sought from City of Parramatta Council regarding additional persons or properties that should be notified of the development via an email sent to Council on 21 January 2022. Council provided a response on 3 February 2022 advising that the notification map is satisfactory
(b) give written notice of the intention to carry out the development to – (i) the council, and (ii) the person or persons nominated by the council, and (iii) the occupiers of adjoining land, and	A letter notifying City of Parramatta Council of the proposed development activity was sent by LAHC on 20 July 2022. Letters notifying occupiers of adjoining land of the proposed development activity were sent by LAHC on the same date.
(c) take into account the responses to the notice that are received within 21 days after the notice is given, and	Council responded to LAHC's notification by letter dated 5 September 2022. Comments on the response are provided in Section 6.1 of this REF. Two submissions were received from adjoining occupiers. Comments on the submissions are provided in Section 6.2 of this REF.
(d) take into account the relevant provisions of the Seniors Living Policy: Urban Design Guidelines for Infill Development, published by the Department in March 2004, and	Refer to checklist in Appendix D and sub-section 5.5.2 of this REF. These conclude that the development complies with all relevant development standards relating to the <i>Seniors Living Policy: Urban Design Guidelines for Infill Development</i> with the exception of the minor variations discussed in subsection 5.5.2 of this report. In these cases, suitable alternatives are proposed which are necessary due to site specific constraints.
(d1) if the relevant authority is the Aboriginal Housing Office – consider the relevant provisions of the Aboriginal Housing Design Guidelines, published by the Aboriginal Housing Office in January 2020, and	Not applicable.
(e) if the relevant authority is the Land and Housing Corporation – consider the relevant provisions of – (i) Good Design for Social Housing, published by the Land and Housing Corporation in September 2020, and (ii) Land and Housing Corporation Dwelling Requirements, published by the Land and Housing Corporation in September 2020, and	Refer to section 5.5.3 and 5.5.4 and the Architect's Statement and Certificate of Building Design Compliance in Appendix Q which indicate that the design and dwelling requirements have been considered.
(f) consider the design principles set out in Division 6	Consideration of these principles is discussed in Table 9 .
(2) In this section, a reference to the council is a reference to the council for the land on which the development is proposed to be located.	Noted.
108D - Exempt development Development for purposes of landscaping and gardening is exempt development if it is carried out by or on behalf of the Land and Housing Corporation in relation to seniors housing	Noted.

The Housing SEPP requires LAHC to consider the applicable development standards specified in clause 84(2) (c) (iii), 85, 88, 89 and 108. Consideration of these sections of the SEPP is demonstrated in the **Table 4** and **Table 5** below:

Table 4 Compliance with section 84(2) (c) (iii), 85, 88, 89 of the Housing SEPP 2021

Provision	Compliance
<p>84 Development standards—general</p> <p>(2) Development consent must not be granted for development to which this section applies unless —</p> <p>(a) the site area of the development is at least 1,000m², and</p> <p>(b) the frontage of the site area of the development is at least 20m measured at the building line, and</p> <p>(c) for development on land in a residential zone where residential flat buildings are not permitted —</p> <p>(i) the development will not result in a building with a height of more than 9.5m, excluding servicing equipment on the roof of the building, and</p> <p>(ii) if the roof of the building contains servicing equipment resulting in the building having a height of more than 9.5m — the servicing equipment complies with subsection (3), and</p> <p>(iii) if the development results in a building with more than 2 storeys — the additional storeys are set back within planes that project at an angle of 45 degrees inwards from all side and rear boundaries of the site.</p>	<p>Not applicable to LAHC developments.</p> <p>Not applicable to LAHC developments.</p> <p>Proposed development is in R2 zone where residential flat buildings are not permitted.</p> <p>NA</p> <p>NA</p> <p>NA. Proposed development is two storey only.</p>
<p>85 Development standards for hostels and independent living units</p> <p>(1) Development consent must not be granted for development for the purposes of a hostel or an independent living unit unless the hostel or independent living unit complies with the relevant standards specified in Schedule 4.</p> <p>(2) An independent living unit, or part of an independent living unit, located above the ground floor in a multi-storey building need not comply with the requirements in Schedule 4, sections 2, 7–13 and 15–20 if the development application is made by, or by a person jointly with, a social housing provider.</p> <p>Note — Development standards concerning accessibility and usability for residential care facilities are not specified in this Policy. For relevant standards, see the Building Code of Australia.</p>	<p>The proposed development complies with all the standards specified in Schedule 4 as demonstrated Table 6 below.</p> <p>Noted</p>

<p>88 Restrictions on occupation of seniors housing</p> <p>(1) Development permitted under this Part may be carried out for the accommodation of only the following –</p> <ul style="list-style-type: none"> (a) seniors or people who have a disability, (b) people who live in the same household with seniors or people who have a disability, (c) staff employed to assist in the administration and provision of services to housing provided under this Part. <p>(2) Development consent must not be granted under this Part unless the consent authority is satisfied that only the kinds of people referred to in subsection (1) will occupy accommodation to which the development relates.</p>	<p>Complies. An Identified Requirement no. 74 is recommended to achieve compliance.</p> <p>An identified requirement no. 74 is recommended to achieve compliance.</p>
<p>89 Use of ground floor of seniors housing in business zones</p> <p>(1) This section applies to a building used for the purposes of seniors housing on land in a business zone.</p> <p>(2) Development consent must not be granted for development under this Part unless the part of the ground floor of the building that fronts a street will not be used for residential purposes.</p> <p>(3) Subsection (2) does not apply to a part of a building that –</p> <ul style="list-style-type: none"> (a) faces a service lane that does not require active street frontages, or (b) is used for 1 or more of the following purposes – <ul style="list-style-type: none"> (i) a lobby for a residential, serviced apartment, hotel or tenanted component of the building, (ii) access for fire services, (iii) vehicular access. <p>(4) Subsection (2) does not apply if another environmental planning instrument permits the use of the ground floor of the building for residential purposes.</p>	<p>Not applicable.</p>

Table 5 Consideration of Non-Discretionary standards for Independent Living units (Section 108)

Development Standard	Required	Comment
Building Height:	9.5m or less	Maximum height 7.8m
Density and Scale:	Floor Space Ratio 0.5:1 or less	0.5:1
Landscaped Area:	Minimum 35m ² per dwelling (8 x 35m ² = 280m ²)	722m ²
Deep Soil Zone:	Minimum 15% of area of site (15% x 1,107m ² = 290m ²)	432.4m ²

	Minimum 65% (188.5m ²) to be preferably located at rear of site	340.8m ² provided at rear of site
	Minimum dimension 3m	Minimum dimension 3m
Solar Access:	% of living areas & main private open space to receive minimum 2 hrs direct solar access between 9 am and 3 pm at mid-winter	100% provided to living areas and private open space of all units
Private Open Space:	Ground level:	
	Minimum 15m ² per dwelling	Minimum 28m ²
	One area minimum 3m x 3m, accessible from living area	Minimum 3m x 3m
	Upper level/s: 1 bedroom: Minimum 6m ² Minimum dimensions 2m 2 or more bedrooms: Minimum 10m ² Minimum dimensions 2m	Minimum 9m ² Minimum 3m Minimum 10m ² Minimum 3m
Car parking:	Minimum 1 car parking space for each 5 dwellings (LAHC concession) – 2 car parking spaces required	9 car parking spaces for 12 dwellings, including four accessible parking spaces

Consideration of the development standards for accessibility set out in section 85 and Schedule 4 is demonstrated in **Table 6** below (Note: where referenced 'subject to identified requirement' in the table, refer to **Appendix C**).

Table 6 Accessibility and useability standards [Schedule 4]

Development Standard (Schedule 4)	Required	Comment
2. Siting Standards Note: consideration only required for ground floor units in accordance with clause 85(2)		
Wheelchair access 'Non-sloping' sites i.e. with gradients entirely <1:10	100% of ground floor dwellings to have wheelchair access by a continuous accessible path of travel as per AS 1428.1 to an adjoining public road	The development proposes accessible pedestrian entrances and internal walkways that enable wheelchair access to all ground floor dwellings. It also incorporates doorway landings with appropriate circulation spaces and accessible thresholds that comply with AS1428.1 to enter the dwellings and satisfy the Housing SEPP. This has been verified by the Access Report in Appendix G and further details will be provided with construction documentation.
'Sloping' sites i.e. with gradients entirely or partially >1:10	% of ground floor dwellings, equal to % of site with gradient <1:10 or	

	minimum 50% (whichever is greater), to have wheelchair access by a continuous accessible path of travel as per AS1428.1 to driveway or public road that is accessible to all residents	Not applicable, as the site does not have a gradient of more than 1 in 10.
Common areas	All common areas and facilities to have wheelchair accessibility as per AS1428.1	All common areas have accessible paths of travel in accordance with AS1428.1. This has been verified by the Access Report in Appendix G and further details will be provided with construction documentation.
3. Security:		
Pathway lighting	Pathway lighting to be designed and located to avoid glare for pedestrians and adjacent dwellings and to provide min 20 lux at ground level	Low level lighting along the entry pathways to be confirmed with construction documentation.
4. Letterboxes:		
	To be lockable, located in central location adjacent to street entry or in one or more central locations on a hard standing area and have wheelchair access and circulation by a continuous path of travel (as per AS1428.1)	The plans indicate that letterboxes will be installed in the front setback next to the bin bay for each block.
5. Private car accommodation:		
Disabled car parking	Car parking spaces must comply with the requirements for parking for persons with a disability set out in AS2890 and at least 5% of the total number of car parking spaces (or at least 1 space if there are fewer than 20 spaces) must be designed to enable the width of the spaces to be increased to 3.8m	Four accessible car parking spaces are provided, which meet the requirements of AS2890 and two are designed with a width of 3.8m. This has been verified by the Access Report in Appendix G.
Garages	Must have power-operated door or there must be a power point and an area for motor or control rods to enable a power-operated door to be installed at a later date	Not applicable, as the proposal does not incorporate garages.
6. Accessible entry		
Every entry, whether front entry or not:	Must comply with clauses 4.3.1 and 4.3.2 of AS4299	The plans confirm that the entry doorway landings for each dwelling provide 1,550mm X 1,550mm minimum circulation space with 530mm minimum latch side

		<p>clearance in accordance with AS4299.</p> <p>The internal unit foyer areas also provide at least 1,650mm X 1,550mm circulation space with the required 530mm latch side clearance in accordance with AS4299 and the Housing for Seniors Policy.</p> <p>This has been verified by the Access Report in Appendix G</p>
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7. Interior: general

Note: consideration only required for ground floor units in accordance with clause 85(2)

	<p>Internal doorways must have a minimum clear opening that complies with AS1428.1</p> <p>Internal corridors must have a minimum unobstructed width of 1,000mm</p> <p>Circulation space at approaches to internal doorways must comply with AS1428.1</p>	<p>Internal doorways comply with AS 1428.</p> <p>Internal corridors meet the minimum 1000mm width.</p> <p>Circulation spaces will be required to comply (refer to Identified Requirement No 76).</p> <p>This has been verified by the Access Report in Appendix G and will be confirmed with Construction Documentation</p>
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8. Bedroom

Note: consideration only required for ground floor units in accordance with clause 85(2)

	<p>At least one bedroom within each dwelling must have:</p> <p>(a) an area sufficient to accommodate a wardrobe and a bed sized as follows:</p> <p>(i) in the case of a dwelling in a hostel-a single - size bed,</p> <p>(ii) in the case of a self-contained dwelling - a queen size bed, and</p> <p>(b) a clear area for the bed of at least:</p> <p>(i) 1,200mm wide at the foot of the bed, and</p> <p>(ii) 1,000mm wide beside the bed between it and the wall, wardrobe or any other obstruction, and</p> <p>(c) 2 double general power outlets on the wall where the head of the bed is likely to be, and</p> <p>(d) at least 1 general power outlet on the wall opposite the wall where the head of the bed is likely to be, and</p> <p>(e) a telephone outlet next to the bed on the side closest to the</p>	<p>Complies.</p> <p>Not applicable.</p> <p>Complies.</p> <p>Complies.</p> <p>Complies.</p> <p>Will be required to comply (refer to Identified Requirement No.73).</p> <p>Will be required to comply (refer to Identified Requirement No.73).</p> <p>Will be required to comply (refer to Identified Requirement No.73).</p>
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	door and a general power outlet beside the telephone outlet, and (f) wiring to allow a potential illumination level of at least 300 lux	Will be required to comply (refer to Identified Requirement No.73).
9. Bathroom Note: consideration only required for ground floor units in accordance with clause 85(2)		
	<p>At least 1 bathroom within a dwelling must be on the ground (or main) floor and have the following facilities arranged within an area that provides for circulation space for sanitary facilities in accordance with AS1428.1:</p> <p>(a) a slip-resistant floor surface,</p> <p>(b) a washbasin with plumbing that would allow, either immediately or in the future, clearances that comply with AS1428.1,</p> <p>(c) a shower that complies with AS1428.1, except that the following must be accommodated either immediately or in the future:</p> <p>(i) a grab rail,</p> <p>(ii) portable shower head,</p> <p>(iii) folding seat,</p> <p>(d) a wall cabinet that is sufficiently illuminated to be able to read the labels of items stored in it,</p> <p>(e) a double general power outlet beside the mirror</p> <p>The requirement under item (c) does not prevent the installation of a shower screen that can easily be removed to facilitate future accessibility</p>	<p>Bathrooms within ground floor dwellings comply with circulation requirements as per AS1428.1.</p> <p>Will be required to comply (refer to Identified Requirement No.73).</p> <p>Will be required to comply (refer to Identified Requirement No.73).</p> <p>Will be required to comply (refer to Identified Requirement No.73).</p> <p>Will be required to comply (refer to Identified Requirement No.73).</p> <p>Noted</p>
10. Toilet Note: consideration only required for ground floor units in accordance with clause 85(2)		
	A dwelling must have at least 1 toilet on the ground (or main) floor and be a visitable toilet that complies with the requirements for sanitary facilities of AS4299	All ground floor dwellings will be provided with a visitable toilet within the combined bathroom / laundry that complies with AS4299.
11. Surface finishes Note: consideration only required for ground floor units in accordance with clause 85(2)		
	Balconies and external paved areas must have slip-resistant surfaces	Will be required to comply (refer to Identified Requirement No.73).

12.. Door Hardware

Note: consideration only required for ground floor units in accordance with clause 85(2)

Door handles and hardware for all doors (including entry doors and other external doors) must be provided in accordance with AS4299

Will be required to comply (refer to Identified Requirement No.73).

13. Ancillary Items

Note: consideration only required for ground floor units in accordance with clause 85(2)

Switches and power points must be provided in accordance with AS4299

Will be required to comply (refer to Identified Requirement No.73).

15. Living and dining room

Note: consideration only required for ground floor units in accordance with clause 85(2)

A living room in a self-contained dwelling must have:

(a) a circulation space in accordance with clause 4.7.1 of AS4299, and

(b) a telephone adjacent to a general power outlet.

A living room and dining room must have wiring to allow a potential illumination level of at least 300 lux

All living rooms comply with circulation requirements.

Will be required to comply (refer to Identified Requirement No.73).

Will be required to comply (refer to Identified Requirement No.73).

16. Kitchen

Note: consideration only required for ground floor units in accordance with clause 85(2)

A kitchen in a self-contained dwelling must have:

(a) a circulation space in accordance with clause 4.5.2 of AS4299, and

(b) a width at door approaches complying with clause 7 of this Schedule, and

(c) the following fittings in accordance with the relevant subclauses of clause 4.5 of AS4299:

(i) benches that include at least one work surface at least 800mm in length that comply with clause 4.5.5 (a),
(ii) a tap set (see clause 4.5.6),
(iii) cooktops (see clause 4.5.7), except that an isolating switch must be included,

(iv) an oven (see clause 4.5.8), and

(d) "D" pull cupboard handles that are located towards the top of below-bench cupboards and towards

All units comply with kitchen circulation requirements.

Not applicable, as kitchens are open plan.

Will be required to comply (refer to Identified Requirement No.73).

Will be required to comply (refer to Identified Requirement No.73).

Will be required to comply (refer to Identified Requirement No.73).

Will be required to comply (refer to Identified Requirement No.73).

Will be required to comply (refer to Identified Requirement No.73).

	the bottom of overhead cupboards, and (e) general power outlets: (i) at least one of which is a double general power outlet within 300mm of the front of a work surface, and (ii) one of which is provided for a refrigerator in such a position as to be easily accessible after the refrigerator is installed	Will be required to comply (refer to Identified Requirement No.73). Will be required to comply (refer to Identified Requirement No.73).
17. Access to kitchen, main bedroom, bathroom and toilet Note: consideration only required for ground floor units in accordance with clause 85(2)		
	In a multi-storey self-contained dwelling, the kitchen, main bedroom, bathroom and toilet must be located on the entry level	Not applicable, as dwellings are not multi-storey.
18. Lifts in Multi storey buildings Note: consideration only required for ground floor units in accordance with clause 85(2)		
	In a multi-storey building containing separate independent living units on different storeys, lift access must be provided to dwellings above the ground level of the building by way of a lift complying with clause E3.6 of the Building Code of Australia.	NA
19. Laundry Note: consideration only required for ground floor units in accordance with clause 85(2)		
	<p>A self-contained dwelling must have a laundry that has:</p> <p>(a) width at door approaches that complies with cl.7 of this Schedule, and</p> <p>(b) provision for the installation of an automatic washing machine and a clothes dryer, and</p> <p>(c) a clear space in front of appliances of at least 1,300mm, and</p> <p>(d) a slip-resistant floor surface, and</p> <p>(e) an accessible path of travel to any clothes line provided in relation to the dwelling</p>	<p>Laundries are located within bathrooms and comply with AS1428.1.</p> <p>Complies.</p> <p>Complies.</p> <p>Will be required to comply (refer to Identified Requirement No.73).</p> <p>Complies.</p>
20. Storage for Linen Note: consideration only required for ground floor units in accordance with clause 85(2)		
	A self-contained dwelling must be provided with a linen storage in accordance with Clause 4.11.5 of AS 4299	Linen storage (min 600mm wide) will be available in all of the proposed dwellings.

21. Garbage

To be provided in accessible location

Three bin storage areas have been provided at the pedestrian entries of the site facing Bourke Street and adjacent to the letterboxes. These areas have a grade compliant with AS1428.

5.5.2 Seniors Living Policy: Urban Design Guidelines for Infill Development

An assessment of the design of the activity against the *Seniors Living Policy: Urban Design Guidelines for Infill Development* is provided at **Appendix D**. The design has followed the Guidelines, except in relation to the following justifiable departures outlined in **Table 7** :

Table 7 Seniors Living Urban Design Guidelines departures

Guideline Requirement	Response
2.15 Provide communal open space?	No designated communal open space is provided however there is ample opportunity for incidental socialising within the shared zones.
3.06 Setback upper levels behind the front building façade?	Upper levels are not setback further than the front building façade to simplify construction. A mix of materials and finishes allow for a varied façade that works well within the streetscape.
3.07 Where it is common practice in the streetscape, locating second storeys within the roof space and using dormer windows to match the appearance of existing dwelling houses?	Locating second storeys within roof space is not a common practice in the streetscape. This requirement is therefore not applicable to the development.
3.27 Vary the driveway surface material to break it up into a series of smaller spaces? (e.g. to delineate individual dwellings)	Driveways and paths are concrete to meet LAHC maintenance and durability requirements. Parking is not allocated to individual units.
3.29 Provide gates at the head of driveways to minimise visual 'pull' of the driveway	Driveway gates to common parking areas are not consistent with the LAHC Design Standards for maintenance reasons.
4.02 Be particularly sensitive to privacy impacts where dwellings must be oriented at 90 degrees to the existing pattern of development?	The orientation of buildings is compatible with neighbouring properties and streetscape
4.03 Set upper storeys back behind the side or rear building line	Proposed development is well set back from rear boundary.
4.05 Incorporate second stories within the roof space and provide dormer windows?	Locating second stories within roof space is not preferred in this development as it is not characteristic of the area.
5.29 Provide private open space areas that use pervious pavers where private open space is predominantly hard surfaced to allow for water percolation and reduced run-off?	Sufficient deep soil/landscape areas have been proposed within common and private open spaces. Pavers are not preferred for maintenance and access reasons.

5.30 Provide communal open space that is clearly and easily accessible to all residents and easy to maintain and includes shared facilities, such as seating and barbecues to permit resident interaction?

Paved areas are provided through out site that allow for socialising and interaction. Further, the site is opposite Lake Parramatta and its surrounding publicly accessible parkland which includes facilities such seating and barbecues for social interaction between residents and visitors.

5.5.3 Good Design for Social Housing

An assessment of the proposed development against the *Good Design for Social Housing* document, published in September 2020, indicates that the proposed development has adequately considered the goals and principles as outlined in **Table 8** below. Refer to Housing for Seniors Checklist in **Appendix D**.

Table 8 Good Design for Social Housing – Relevant Goals & Principles

Goals	Principles	Comment - Discussion on how the design responds to the principles:
<i>Wellbeing</i>	<ul style="list-style-type: none"> • Healthy environments • Good for tenants • Quality homes 	<p>The design provides a highly level of accessibility for residents of ground floor units and permits adaptation to allow for the changing needs of tenants over time, allowing them to age in place.</p> <p>All units have substantial areas of private open space, with attractive gardens, predominately planted with low maintenance native species to attract bird life without requiring regular watering.</p> <p>Ample parking is provided to residents and pedestrian access throughout the site and is highly accessible.</p> <p>The design achieves a high BASIX/NatHERS score and as such provides appropriate thermal comfort year round. Furthermore, solar panels will be installed to reduce operating costs of the units.</p> <p>The external appearance of the development is attractive and will present well in the streetscape, while also responding well to the overall built character of the locality.</p>
<i>Belonging</i>	<ul style="list-style-type: none"> • Mixed tenure • Good shared and public spaces • Contribute to local character 	<p>The development will make a high quality contribution to the streetscape and is of comparable quality and character to surrounding private dwellings.</p> <p>The dwelling makes use of high quality, low maintenance materials and utilises a neutral colour palette which together will maintain the visual appeal of the dwellings overtime.</p> <p>Substantial landscaping is provided to the site, including large deep soil areas to enable the establishment of gardens of significant size and canopy tree cover which can be appreciated from both within and outside the development.</p> <p>The mixed unit sizing caters to the needs of a diverse range of tenants and meets the requirements for seniors housing to cater for seniors and their household members.</p>
<i>Value</i>	<ul style="list-style-type: none"> • Whole of lifecycle approach • Sustainability and resilience 	<p>The scheme will incorporate sustainable features including insulation, high-quality glazing, clothes lines, native plantings, solar panels, ceiling fans, water efficient fittings, abundant</p>

	<ul style="list-style-type: none"> • Make every dollar count 	<p>natural light, natural cross ventilation and is a design that can be modified to accommodate the changing needs of tenants</p> <p>Materials have been chosen for their durability and ease of sourcing to allow for easy replacement and to minimise operating costs.</p> <p>The yield is compatible with the planning provisions and the capability of the site, whilst providing a comfortable space tenants and the wider community.</p>
Collaboration	<ul style="list-style-type: none"> • A good partner • Place making • Continuous improvement 	<p>The proposal is of a scale and character that assists with place making, by enduring integration with the surrounding development.</p> <p>Collaboration with a number of stakeholders has been undertaken during the design and assessment process, with the development shaped by input from a wide range of consultants and stakeholders, including City of Parramatta Council.</p>

5.5.4 Land and Housing Corporation Dwelling Requirements

An assessment of the proposed development against the *Land and Housing Corporation Dwelling Requirements* document has been undertaken and deemed to achieve compliance, refer to Certificate of Compliance from the Architect in **Appendix P**. Further detail will be incorporated in the construction documentation.

5.5.5 Housing SEPP Design Principles

The proposed activity is located in an established urban area and there are no known natural environmental considerations affecting the subject land (including known significant environmental values, resources or hazards). The existing and approved uses of land in the vicinity of the proposed development is for residential purposes.

A site analysis was undertaken as part of the design process. The impact of the bulk, scale and built form is considered to be compatible with the existing uses, approved uses and the likely future character of the area.

There are services, facilities and infrastructure that will be available to meet the demands arising from the proposed activity.

The Housing SEPP articulates a range of design principles that the LAHC must consider in determining whether or not to proceed with a proposed seniors housing activity. **Table 9** below demonstrates how the principles have been considered in the design of the proposal.

Table 9 Response to Design Principles (Part 5, Division 8)

Design Principle	Response
Neighbourhood amenity and streetscape [Section 99]	
Seniors housing should be designed to — (a) recognise the operational, functional and economic requirements of residential care facilities, which typically require a different building shape from other residential accommodation, and	N/A no residential care facility proposed.
(b) recognise the desirable elements of — (i) the location's current character, or	This site is located within 'Jeffery Avenue Special Character Area as identified in PDCP 2011. The PDCP 2011 notes that this area was developed by the NSW

<p>(ii) for precincts undergoing a transition — the future character of the location so new buildings contribute to the quality and identity of the area, and</p>	<p>Housing Commission in the Post-War era and is characterised by “<i>detached dwellings, mostly in brick with some fibro cement bases. It has a high standard of amenity, and with good management, will become more special as time goes by</i>”. Much of the development in the area is owned by the LAHC (as successor to the Housing Commission). In recent years, many of the modest, single storey dwellings in the area have been increasingly replaced by larger, two-storey contemporary dwellings.</p> <p>The proposed development is contemporary in appearance to fit in with the changing character of the neighbourhood. High quality finishes and the well-considered design add to the identity of the locality. Accordingly, the design of the units will respond appropriately to the character of the Jeffery Avenue Special Character Area.</p>
<p>(c) complement heritage conservation areas and heritage items in the area, and</p>	<p>The site is not within a heritage conservation area and contains no heritage items.</p>
<p>(d) maintain reasonable neighbourhood amenity and appropriate residential character by —</p> <ul style="list-style-type: none"> (i) providing building setbacks to reduce bulk and overshadowing, and (ii) using building form and siting that relates to the site’s land form, and (iii) adopting building heights at the street frontage that are compatible in scale with adjacent buildings, and (iv) considering, where buildings are located on the boundary, the impact of the boundary walls on neighbours, and 	<p>The building setbacks are consistent with the streetscape character of the locality and are consistent with Council’s DCP requirements. The building height is compliant and does not result in an excessive bulk and does not lead to unreasonable overshadowing of adjacent sites. The built form respects and follows the topography of the site, without the need for excessive cut and fill. The proposed development is below the Height of Buildings Standard in the PLEP 2011 and is of a scale commensurate with other nearby dwellings. The proposal does not locate buildings directly upon the boundaries.</p>
<p>(e) set back the front building on the site generally in line with the existing building line, and</p>	<p>Setbacks will maintain existing predominate building lines and patterns of setbacks.</p>
<p>(f) include plants reasonably similar to other plants in the street, and</p>	<p>The proposed high quality landscape design will enhance the appearance of the site and represents a positive outcome for the streetscape. New native street tree planting will be provided to Bourke Street providing immediate improvements the visual quality of the streetscape as well as future canopy cover to mitigate urban heating.</p>
<p>(g) retain, wherever reasonable, significant trees, and</p>	<p>Nine trees are identified by the consulting arborist (2 within the site and the remainder immediately adjacent) for retention in accordance with the recommendations of the Arboriculture Impact Assessment report. All other trees are to be removed and replaced by more suitable landscaping.</p>

(h) Prevent the construction of a building in a riparian zone.	The site is not located within or adjacent to a riparian zone.
Visual and acoustic privacy [Section 100]	
Seniors housing should be designed to consider the visual and acoustic privacy of adjacent neighbours and residents by – (a) using appropriate site planning, including considering the location and design of windows and balconies, the use of screening devices and landscaping, and	Visual and acoustic privacy within the development and to adjacent properties is provided and maintained through the strategic use of privacy screens, obscure glazing, considered window and balcony locations and plantings
(b) ensuring acceptable noise levels in bedrooms of new dwellings by locating them away from driveways, parking areas and paths.	Bedrooms are predominately located away from paths and parking to maintain acceptable noise levels.
Solar access and design for climate [Section 101]	
The design of seniors housing should – (a) for development involving the erection of a new building – provide residents of the building with adequate daylight in a way that does not adversely impact the amount of daylight in neighbouring buildings, and (b) involve site planning, dwelling design and landscaping that reduces energy use and makes the best practicable use of natural ventilation, solar heating and lighting by locating the windows of living and dining areas in a northerly direction.	<p>The design and siting of the proposed development will provide adequate daylight access to living areas and private open spaces and the living areas and private open spaces of adjoining properties. The northern orientation of proposed living and open space areas will maximise solar access. 75% of the proposed dwellings will receive a minimum of 3 hours sunlight between 9am and 3pm on June 21 to their living area and private open space.</p> <p>Solar access to the private open space of the majority of adjoining sites is maintained throughout most of the day in mid-winter. (Refer to shadow diagrams at Appendix E).</p> <p>Landscaping will also assist in microclimate management.</p>
Stormwater [Section 102]	
The design of seniors housing should aim to – (a) control and minimise the disturbance and impacts of stormwater runoff on adjoining properties and receiving waters by, for example, finishing driveway surfaces with semi-pervious material, minimising the width of paths and minimising paved areas, and (b) include, where practical, on-site stormwater detention or re-use for second quality water uses.	<p>Stormwater catchment design, including on site stormwater detention, has been provided to achieve Council requirements.</p> <p>Hard surfaces have been minimised in private garden areas and landscaping and porous paving has been maximised.</p> <p>(Refer to the submitted stormwater drainage plans at Appendix E).</p>
Crime prevention [Section 103]	
Seniors housing should – (a) be designed in accordance with environmental design principles relating to crime prevention, and (b) provide personal property security for residents and visitors, and	Resident safety has been considered and will be maintained through the provision of good opportunities for the surveillance of the site and the surrounding streetscape. Access points are minimised and

- (c) encourage crime prevention by –
- (i) site planning that allows observation of the approaches to a dwelling entry from inside each dwelling and general observation of public areas, driveways and streets from a dwelling that adjoins the area, driveway or street, and
 - (ii) providing shared entries, if required, that serve a small number of dwellings and that are able to be locked, and
 - (iii) providing dwellings designed to allow residents to see who approaches their dwellings without the need to open the front door.

observable from residential units and all areas of private space are fenced to delineate between public and private. Secure entry is provided to the building and glazed, sliding entry doors allow for the observation of outside by tenants, without having to open the door.

Accessibility [Section 104]

- Seniors housing should –
- (a) have obvious and safe pedestrian links from the site that provide access to transport services or local facilities, and
 - (b) provide attractive, yet safe, environments for pedestrians and motorists with convenient access and parking for residents and visitors.

The Access Report (refer to **Appendix G**) demonstrates compliance with the site being within 400m of facilities and services or within 400m of transport and generally is compliant with clause 93 of the Housing SEPP despite this not being a consideration for seniors development undertaken by LAHC.

Easily navigated paths provide access throughout the site, to the street and to the car parking area from each residential unit.

Landscaping is provided alongside and between pathways and dwellings to maintain the privacy of tenants and improve the amenity of the site.

Ample parking is provided to service residents and visitors and the development.

Waste management [Section 105]

Seniors housing should include waste facilities that maximise recycling by the provision of appropriate facilities.

Waste and recycling bays are provided to comply with the requirements of City of Parramatta Council. These are designed to be hard wearing and easy to maintain, while being somewhat unobtrusive within the scheme. Planting has been provided to help garbage/recycling areas have minimal visual impact.

5.6 Other State Environmental Planning Policies

Table 10 below outlines applicability of, and compliance with, other State and Environmental Planning Policies (SEPPs).

Table 10 Compliance with other applicable State and Environmental Planning Policies

State Environmental Planning Policy	Applicability
SEPP (Building Sustainability Index: BASIX) 2004	A BASIX Certificate has been obtained for the development proposal, as required under the SEPP (refer to Appendix H).
SEPP (Transport and Infrastructure) 2021	The site is not located in close proximity to a State Classified Road nor is it defined as traffic generating development.

SEPP (Biodiversity and Conservation) 2021	Tree removal is proposed (refer to Arboricultural Impact Assessment Report at Appendix F)
SEPP (Resilience and Hazards) 2021	The site is located within a developed residential area of North Parramatta. The s10.7 planning certificates have not identified the sites as potentially contaminated. A geotechnical report undertaken for the development has not identified any areas of potential contamination. Standard requirements include implementation of management measures in the event of unexpected finds and potential contamination during construction works.

5.7 Local Planning Controls

5.7.1 Parramatta Local Environmental Plan 2023 (PLEP 2023)

Parramatta LEP 2023 came into force from 2 March 2023. Compliance with the relevant provisions / development standards set out in the PLEP 2023 is demonstrated in **Table 11** below.

Table 11 Parramatta Local Environmental Plan 2023

Relevant Provisions / Development Standards for Seniors Housing			
Clause	Provision / Development Standard	Required	Provided
4.3	Height of Buildings	(2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map (9 metres)	Maximum building height (measured in accordance with the LEP definition) is 7.8 metres.
4.4	Floor Space Ratio	(2) The maximum floor space ratio for a building on any land is not to exceed the floor space ratio shown for the land on the Floor Space Ratio Map. The site is not mapped as containing a maximum floor space ratio on the Floor Space Ratio Map.	Proposed FSR is 0.50:1. The proposed FSR is compliant under the Housing SEPP (as addressed above) and does not result in any substantive adverse impacts on adjoining properties or the streetscape.

5.7.2 Parramatta Development Control Plan 2011

Parramatta Development Control Plan 2011 (PDCP 2011) does not contain specific development controls for seniors housing. As such, the building setbacks *for multi* dwelling housing have been used for comparative purposes to demonstrate the suitability of the site for the proposed scale of the development as shown in **Table 12** below.

The general controls for all development set out in PDCP 2011 have generally been addressed in the various sections of this REF that address compliance with the provisions of the Housing SEPP.

Table 12 Parramatta Development Control Plan 2011

Compliance with setback controls for multi-unit housing

Multi-dwelling housing and Attached Dwellings

Clause	Requirement	Proposed
5. Setbacks	<p><u>Front setbacks</u></p> <p>Primary frontage: 5-7m and consistent with the prevailing setback along the street / secondary street / lane: 3-5m</p> <p><u>Side setbacks</u></p> <p>Minimum 3m, except where dwellings primarily address side boundaries, where the side setbacks must be a minimum of 4.5m. On corner allotments, to measure the site boundary setback, the side boundaries are taken to be those without a street frontage.</p> <p><u>Rear setbacks</u></p> <p>Minimum 15% of length of site (minimum 6m required)</p>	<p>7.8 metres, which is generally consistent with prevailing setbacks in the street. The articulation of front building alignment acts to reduce building bulk and provides opportunity for north facing communal open space provision.</p> <p>3m, with none of the proposed dwellings primarily addressing side boundaries.</p> <p>10.35m</p>

6 Notification, Consultation and Consideration of Responses

Copies of the notification letters sent to the local council and to the adjoining occupiers are provided in **Appendix B**, together with copies of all responses received and a record of any verbal responses.

6.1 Council Notification

In accordance with section 108C of the Housing SEPP, Parramatta City Council was notified of the development by letter dated 20/07/2022 (refer to **Appendix B**). The notification response period formally closed on 15/08/2022 and Council responded to the notification by letter dated 05/09/2022, which has been extracted below. A response is provided in relation to the comments and matters raised in Council's letter and where appropriate, these matters have been addressed in the identified requirements in **Appendix C**.

Table 13 Issues raised in Council submission

Issues raised	Response
<u>Built Form</u>	
<i>Site planning to be reconsidered to provide the driveway on one end to better organise the central and rear space to consolidate COS area</i>	<p>The central location of the driveway and parking allows both buildings to have large rear yards and areas of landscaping directly accessed from their respective POS.</p> <p>Moreover the central driveway allows for plantings in the deep soil zones of the site's side setbacks, which will soften the appearance of the development when viewed from neighbouring dwellings to the west and east.</p> <p>Finally, the central driveway allows for a safer access and exit to the site and surveillance of the car parking area and common circulation space. Placing a driveway on to one side would necessitate additional manoeuvring which given the single vehicle width of the drive may pose risks of conflicts between vehicles entering and exiting the site and reduces lines of sight for pedestrians.</p>
<i>The proposed setback appears to extend beyond the prevailing setback of 7m and to be rectified</i>	<p>The proposed setback to building line is 7.8m. which is in line with the prevailing setback. The first floor balcony is encroaching by 0.5m into 7m. This encroachment is acceptable under Control C.1 in Section 3.2.2 of the Parramatta DCP which allows balconies to extend up 800mm from the building envelope.</p>
<i>The bin area to be screened and minimise the facilities in the front setback.</i>	<p>Higher plantings have been provided to screen the bin area.</p>

Issues raised	Response
<p><i>The carports are not necessary and will result in multiple driveway entries creating safety hazard if surrounding sites are developed with similar layout using the subject site as precedent.</i></p>	<p>The use of three driveways does not substantially alter the exiting situation as there are currently three driveways and crossovers on site.</p> <p>The proposed two additional driveways adjacent to Unit 1 and Unit 9 minimise the conflict with other vehicles to ensure an unobstructed accessible path of travel for residents.</p> <p>The provision of these spaces will improve the accessibility of the development for its less mobile tenants which is a specific need for the style of development proposed. As such, any future DA not seeking to create housing for elderly/less mobile persons should be unable to reasonably use the development as precedent.</p> <p>It is noted that the development is not expected to generate unreasonable levels of traffic as detailed in the Traffic Report</p>
<p><i>Floor to floor height to be 3.1m (ADG as guide)</i></p>	<p>Ceiling heights are consistent with Part 4C, Design Criteria 1 of the ADG.</p>
<p><i>The long and low inclined roofs are not sympathetic with the character of the area; it is recommended that a series of smaller pitched roofs is utilised, to better fit with the built form of the surrounding.</i></p>	<p>Proposed roof form is consistent with other new builds in the locality. A snapshot of newer developments in the nearby area is included in the Character Statement at Appendix P.</p>
<p><i>Site planning to be reconsidered to provide the driveway on one end to better organise the central and rear space to consolidate COS area</i></p>	<p>The central location of the driveway and parking allows both buildings to have large rear yards and areas of landscaping directly accessed from their respective POS.</p> <p>Moreover the central drive allows for plantings in the deep soil zones of the site's side setbacks, which will soften the appearance of the development when viewed from neighbouring dwellings to the west and east.</p> <p>Finally, the central driveway allows for a safer access and exit to the site and surveillance of the car parking area and common circulation space. Placing a driveway to one side would necessitate additional manoeuvring which given the single vehicle width of the drive may pose risks of conflicts between vehicles entering and exiting the site and reduces lines of sight for pedestrians.</p>
<p><u>Solar Access and Cross Ventilation</u></p>	
<p><i>Solar access and cross ventilation diagrams should be provided to show the quality and amenity of the dwellings. ADG and Housing SEPP should be used as a guide.</i></p>	<p>Solar access and cross ventilation diagrams have been provided. (Appendix E)</p>

Issues raised	Response
<u>Materials</u>	
<i>The use of colorbond is not encouraged. Masonry elements and roof tiles should prevail to achieve a character sympathetic to the local context.</i>	The use of colorbond steel roofing is consistent with other recently constructed buildings in the locality and will not derogate the character of the local area.
<u>Communal Open Space</u>	
<i>25% of the site area to be provided as COS in continuous with the deep soil where possible.</i>	Each individual dwelling is provided with a very large area of private open space to make up for shortfall in COS. A large, continuous area of deep soil (exceeding requirements) is provided at the rear of the site. Further, large areas of public open space are located within easy walking distance of the site at Lake Parramatta.
<i>Communal open space should offer gathering areas to provide opportunity for social interaction amongst residents, connection to natural environment and breathing space to the seniors' blocks.</i>	Paved areas are provided through out the site that allow for incidental socialising and interaction. Further, the site is opposite Lake Parramatta and its surrounding publicly accessible parkland which includes facilities such as seats and barbecues for social interaction between residents
<u>Car Park</u>	
<i>Relocate the car parking to basement under one of the two separate blocks</i>	Not considered necessary as proposed location of car parking allows for compliant areas of landscaping, is able to be appropriately screened and provides a greater level of accessibility for residents without the need to undertake excessive excavation
<u>Existing Trees</u>	
<i>The proposed development should not impinge TPZ of the trees retained and tree protection measures should demonstrated on the plans.</i>	Measures to protect TPZs of retained trees are detailed in the Arboricultural Impact Statement. (Appendix F).
<i>Some of the newly proposed plants are located too close to the existing tree which will affect the trees and should be relocated.</i>	A revised Landscape Plan has been prepared to address this issue (Appendix E).
<u>Deep Soil and internal Landscape area</u>	
<i>Deep soil zone to be 15% of the site and 65% at the rear</i>	Plans have been modified so that deep soil now meets required areas. Refer to Landscape Plan. (Appendix E).
<i>The applicant is required to provide trees at the rate of 1/80m². Tree species with mature height of 13m and size of 4mX4m is required to be planted.</i>	The Landscape Plan has been updated to comply. 5 x new Firewheel Trees to be planted with mature heights exceeding 13m and spread greater than 4 x 4m (Appendix E)

Issues raised	Response
<u>Private Open Space</u>	
<i>Concerns are raised regarding usability and accessibility of the proposed POS areas they are densely landscaped and not usable, not accessible hence does not achieve the design objective of Housing SEPP.</i>	Proposed hard surface POS areas are in compliance with the Housing SEPP requirement i.e. min 3m directly accessible from Living area. The soft landscaped area adjacent to POS are intended for soft landscape area.
<u>Public Domain</u>	
<i>A minimum 1.5m footpath to be constructed partly along the boundary to replace the existing footpath, remove the existing redundant driveways and construct new kerb as per Council's standards.</i>	Addressed in Identified Requirements 77 and 81.
<i>Plant new street trees 8-10m apart along the site frontage</i>	Street tree plantings provided, refer to Landscape Plan (Appendix E).
<i>Driveway – 6m width</i>	Proposed driveway complies with the single lane traffic requirements. A passing bay is proposed to accommodate two-way movements.
<i>Details of the public domain to be included in Landscape plan and to be submitted to the Council.</i>	Public domain improvements shown on Landscape Plan. Addressed in Identified Requirements.
<u>Universal Access</u>	
	The Access Report in Appendix G verifies that full compliance can be achieved.
<u>Tree Management</u>	
<i>Proposed removal of 26 trees is supported</i>	Noted
<i>Tree protection will be required to Two trees at the rear of the site and seven trees within adjoining properties</i>	Addressed in Identified Requirement 44.
<i>TPZ encroachment (13%) within Tree 17 is considered major and will requires close supervision by the Arborist at the time of construction.</i>	Addressed in Identified Requirements 44 and 80.
<i>Neighbouring tree no 14 encroachment is also considered major due to proposed driveway and carport but it is a large shrub rather than a tree</i>	Addressed in Identified Requirements 44 and 80.
<i>Tree 6 within 10 Brown St requires close supervision by the project Arborist</i>	Addressed in Identified Requirements 44 and 80.
<i>Within the proposed easement, the SW pipes will impact 4 small fruit trees. Non-destructive construction method such as hydro vac or under-boring is required to ensure roots over 25mm are retained.</i>	The comment by Council relates to the LAHC Brown Street project. The fruit trees are located on 8 Jeffery Avenue, North Parramatta and will not be affected by this project.

Issues raised	Response
<u>Landscaping</u>	
<i>Recommended to additional seating to be provided into the southern planted landscaped areas via a paved accessible path.</i>	No COS is to be provided, see above comments.
<i>A large mature hedge located within 10 Brown Street will also be impacted by the proposed stormwater drainage easement and will require replacing and should be noted on the landscape plans.</i>	The proposed easement runs along the side boundary of 10 Brown St which requires removal of existing hedging plants. No replacement hedges can be provided as the easement needs to be kept clear of any obstructions for any maintenance or repair works.
<u>Traffic Engineering</u>	
<i>Refer to Council letter.</i>	Overall supported.
<u>Stormwater</u>	
<i>The proposed pipe within the proposed easement shall be upsized to a 225mm pipe to allow for emergency overflows in the event of OSD system were to fail.</i>	Refer to Hydraulic Services plan (Appendix E).

6.2 Notification of Occupiers of Adjoining Land and Other Persons

Under section 108C (1) (a) of the Housing SEPP, the Council for the area was requested to nominate any other persons who should, in the Council's opinion, be notified of the development.

Advice was sought from Council regarding additional persons or property that should be notified of the development via an email dated 21/01/2022 Council provided an email response on 03/02/2022 advising that the notification map is consistent with Council's Community Participation Plan and acceptable to Council.

Figure 17 illustrates the properties in which the occupiers were notified of the development.



Figure 17 Notification Map

Under section 108C(1)(b) of Housing SEPP, occupiers of adjoining land, as identified in the above map, were notified of the proposed development activity by letter dated 20 July 2022. Copies of the notification letters are provided at **Appendix B**.

The notification response period formally closed on 15 August 2022 and submissions are discussed in **Table 14**.

Table 14 Issues raised by adjoining owners / neighbours

Issues raised	LAHC Response
Sale of No.63 Bourke Street	LAHC has advised the real estate agents advertising the sale of the development and provided them with notification plans. The agents have been advised of their responsibility to advise any potential buyers of the planned development.
Privacy	Plans have been amended to increase the width of privacy screening on southern elevation balconies with a small opening towards the car parking area. Coastal Banksia has been replaced with faster growing species in the rear landscaping.
Maintenance of landscaping	The building contract covers the first 12 months maintenance after completion and thereafter a LAHC contractor will be appointed for maintenance. Addressed in Identified Requirement no. 18.
Clothes drying facilities	All units are supplied with clothes drying facilities.
Easement	Easement will be built in accordance with the plans prepared by ACOR. Details regarding timing of installation and excavation will be provided in the Construction Management Plan. The easement is considered to be separated from dwellings at No. 8 and 10 Brown Street to minimise the likelihood of any damage to their property. No trees to be removed to provide an easement. However a hedge will have to be removed. No replacement hedges can be provided as the easement needs to be kept clear of any obstructions for any maintenance or repair works.

6.3 Notification of Specified Public Authorities

The development is “seniors housing” under section 108A of the Housing SEPP. As required by section 108B (2) of the Housing SEPP, consideration has been given to the need to notify the “specified public authorities” identified in State Environmental Planning Policy (Transport and Infrastructure) 2021, Sections 2.15 and 2.17. The development is not located in an area that triggers the requirement to notify public authorities other than Council.

7 Review of Environmental Factors

Environmental factors associated with the proposed activity in terms of location, character, bulk and density, privacy, solar access and overshadowing have been considered in accordance with the provisions of the Housing SEPP and discussed in Section 5.1.10 of this REF. A review of other environmental factors associated with the proposed activity, and the measures required to mitigate any adverse impacts to the environment, are provided below.

7.1 Neighbourhood Character

The Parramatta DCP 2011 identifies the site as being within the Jeffrey Avenue Special Character Area. The area was first subdivided by the NSW Housing Commission in 1947, with the locality largely maintaining this historic subdivisions pattern. The dominant form of development is detached, single-storey, brick dwellings, built by the Housing Commission in post-war period. These dwellings tend to sit within lightly landscaped and lawned allotments and have tiled, pitched roofs. The character of the area is evolving, with a number of newer, two-storey dwellings and dual occupancy developments interspersed throughout the locality. These dwellings take a more contemporary form and introduce new design features to the area, including flat roofs, rendered finishes and muted grey and white tones.

The proposed housing represents a contemporary, high quality design, which will be an improvement in comparison to the existing dwellings. The use of face brick and metal clad for external walls and Colorbond metal roofing is consistent with the existing and developing character of the North Parramatta suburb and the Jeffery Avenue Special Character Area. The 2-storey design, siting, layout and landscape setting of the proposed development aligns with that of emerging development in the locality.

No mitigation measures are required, as the design of the proposed development is sympathetic to the neighbourhood character, providing setbacks to neighbouring development that are consistent with surrounding dwelling houses. Suitable design treatments, including fencing, landscaping and a considered planting mix ensure the proposal will generate benefits to neighbourhood character.

7.2 Bulk and Density

The proposed development is consistent with the bulk and scale of surrounding development in the locality of North Parramatta. The 2-storey buildings incorporate appropriate setbacks distinguished by a variety of articulation features, external finishes and materials to reduce the visual bulk of the development. The development is split into 2 separate buildings with stepped setbacks from Bourke Street and designed with suitable façade articulation and roof form to minimise bulk and scale.

The proposal incorporates a floor space ratio of 0.5:1 and a maximum height of 7.8m which is generally consistent with a low-density residential area. The FSR and 2-storey built form is sympathetic to the surrounding context and is an appropriate response to the desired future character envisaged for the R2 Low Density Residential zone. Notwithstanding, the proposed development complies with the floor space ratio, is generously setback from all boundaries and will provide expansive deep soil areas; which minimise its perceived bulk. Moreover, by dividing the development into two buildings across three allotments, the development will appear at density more commensurate with a pair of dual occupancies, which are permissible in the zone and found throughout the locality.

Accordingly, the proposal is for a development of a bulk, scale and density that does not constitute an overdevelopment of the site. The proposal will suitably increase housing density which is consistent with State and regional strategies and the development controls applying to the site.

Mitigation measures

None required.

7.3 Streetscape

The architectural style of the proposed development activity is compatible with the evolving form and treatment of development in the surrounding locality. The street façade is divided into a number of distinct elements, separated with substantial landscaping resulting in a finer grained streetscape appearance, consistent with existing dwellings in the area. In addition, the hard stand car parking area will be obscured from street view, resulting in a built form that has been designed with consideration of the dwellings surrounding.

With its strong articulation and modulation along the front façades and improved landscaping proposed within the street setback areas, the proposed development makes a positive contribution Bourke Street. The proposed development will replace ageing housing stock that has reached the end of its economic life with a new contemporary residential development.

The built form has been designed to address the street frontages through incorporation of street facing windows and doors, as well as courtyards and balconies within the front setback, improving casual surveillance of the street.

Mitigation measures

None required.

7.4 Visual Impact

The proposed development will generate some short-term visual impact on the surrounding area during construction, with a long-term positive visual impact associated with the establishment of new dwellings in an existing urban residential context.

The proposed development will make a positive contribution to the residential streetscape through construction of new contemporary dwellings that respond to the site context and neighbourhood character. Articulation, diverse mix of materials and a neutral colour palette will assist with the overall aesthetic of the site.

Substantial new landscaping is proposed in the Bourke Street setback including new, native canopy trees that will soften the visual impact of dwellings when viewed from the public domain. Furthermore, new street trees are proposed along Bourke Street, which will both provide additional canopy and shade to the pedestrians and improve the aesthetic quality of the streetscape. The rear and side setbacks will also be heavily landscaped adding to the long-term visual amenity of the surrounding properties and further improving the appearance of the site from the street.

Mitigation measures

None required.

7.5 Privacy

A high level of internal and external privacy is maintained by the proposed development activity through a range of measures including careful and considered site landscaping, new 1.2-1.8m high fencing, adequate site setbacks and strategic placement of windows so as to avoid direct overlooking of neighbours. In particular:

First floor balconies have largely been oriented to the front and rear of the site, and as such will not directly overlook the windows or private open space at adjacent sites. Extensive landscaping has been provided in side and rear setbacks to provide a visual buffer between the windows, balconies and terraces on the subject site and properties to the east, west and south.

Both buildings are setback 3m from side boundaries in accordance with the setback requirements from multi-dwelling developments in the Parramatta Development Control plan 2011. Rear setbacks are generous, being at a minimum of 10m or 25.6% of the site depth. Finally, the front setback is consistent with the prevailing building line on Bourke Street and includes substantial landscaping to further mitigate privacy impacts.

Noise generating areas, such as living rooms, kitchens and driveways have either been located centrally within the building or do not face adjacent dwellings. The main vehicle entry is located between the two building to minimise the impact of vehicles entering or exiting the site.

Proposed 1.8m Colorbond fencing and landscaping will mitigate unacceptable overlooking from ground level units into properties to the south, west and east.

Mitigation measures

None required.

7.6 Solar Access

The design and siting of the proposed development will provide adequate daylight access to the proposed dwellings living areas, private open spaces and the private open space areas of neighbouring properties in accordance with the *Seniors Living Policy: Urban Design Guidelines for Infill Development*. The submitted Architectural Plans indicate that 100% of dwellings receive at least 2 hours direct solar access to the living and POS areas on June 21, which meets the requirement for 70% of dwellings to achieve 3 hours of direct solar access to the living and POS areas on June 21.

Shadow diagrams also confirm the proposed development will not impact on sunlight to living areas and private open space of the dwellings on adjoining sites.

Proposed living and open space areas have been carefully sited to maximise solar access and the proposal is consistent with the Housing SEPP requirements.

Mitigation measures

None required.

7.7 Overshadowing

The shadow diagrams confirm the development has been designed to minimise overshadowing of surrounding development. Shadow diagrams in Appendix E confirm the proposed development will not generate unacceptable shadow impacts to living areas and private open space of dwellings on adjoining sites.

The shadow diagrams show that throughout the day shadows will largely be contained within the subject site, with very small incursions into 55 Bourke Street to the west between 9am and 10am and a minor impact upon 63 to the east in the afternoon. The favourable orientation of the site and surrounding properties means that north facing windows are unaffected by the proposal and overall all adjacent properties will continue to receive substantial areas of sunlight to their private open spaces, in excess of three hours, at mid-winter.

Mitigation measures

None required.

7.8 Traffic & Parking

A total of 9 at-grade car parking spaces for residents, including 4 accessible spaces, will be available on site to serve the proposed development. Two of the accessible spaces have been dedicated to Unit 1 and Unit 9 and are immediately adjacent to those units. The provision of on-site car parking exceeds the parking requirements set out in the Housing SEPP for developments carried out by LAHC by 6 spaces. Unrestricted street parking is available on Bourke Street directly adjacent to the site to accommodate any overflow parking demand generated by the proposed development.

The Traffic Impact Assessment Report (**Appendix L**) indicates that the projected net increase in traffic as a consequence of the proposed seniors' housing development is acceptable and any increase can be accommodated within the capacity of the existing local street network.

The Traffic Impact Assessment examined the adequacy of a single lane internal driveway and confirmed the proposed design is suitable based on an assessment of projected vehicle movements. The proposed development is only expected to generate 3 peak hour vehicle trips (less at other times), which is significantly less than the 30 vehicles per hour threshold for two-lane roadways.

In addition, the likelihood of two cars entering and exiting the site at the same moment in time is statistically insignificant and a single lane internal roadway arrangement with passing area at the entrance to the site is therefore considered acceptable and safe as recommended by the consulting traffic engineer.

Mitigation measures

An Identified Requirement (No. 79) is applied requiring the installation of convex mirrors at both ends of the central driveway together with suitable signage advising drivers to give way to entering vehicles.

7.9 Flora and Fauna

An Arboricultural Impact Assessment has been prepared for the site by Creative Planning Solutions (**Appendix F**). The report considers 35 trees, which are located either within the subject site or within 5m of the site boundaries.

The report recommends the removal of 26 existing trees that are either located within the proposed development footprint or that would be impacted by an unavoidable major encroachment within the tree protection zone. It also recommends retention of 9 existing trees (Tree Nos. 4, 5, 6, 14, 33 34 and 35) of which 2 are site trees and the remainder are on neighboring property.

Tree Nos. 1, 2, 3, 7, 8, 9, 11, 12, 13, 15, 16, 19, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31 and 32 are either located within the construction zone or the TPZ/SRZs are unsustainably impacted by the proposed building footprint, its driveways or parking areas.

Trees 2, 7, 8, 9, 10, 11, 12, 13, 18, 21, 22, 23 and 24 are exempt from protection under the provisions of Pat 5.4 – Preservation of Trees and Vegetation of the Parramatta DCP 2011 due to either species or size classification.

More appropriate replacement planting of tree species are proposed, as indicated on the Landscape Plan and details. The new plantings will provide replacement tree cover on the site and increase the variety of species, including flowering trees, which will provide additional habitat for fauna in the long-term.

There will be no significant impact on native fauna as a result of the proposed development, given that compensatory planting is proposed.

Mitigation measures

Works within the Tree Protection Zone of retained trees on the site are to be undertaken using tree sensitive excavation and construction techniques such as pier and beam construction with suspended sections to reduce any impact on their stability, with piers to be dug by hand using non-motorised machinery to further assist in their protection. Retained trees are to be protected in accordance with the Tree Protection Plan contained within the Arboricultural Impact Assessment (refer **Appendix F**).

If associated infrastructure (pipe works) are to be installed within the Tree Protection Zone of any retained specimen, they are to be installed by hand with non-motorised machinery. If structural roots are found within the trench, they are to be left intact and dug around retaining this specimen's structural integrity with works to be undertaken in consultation with the project arborist (refer to Identified Requirement No. 83).

Any excavations must be supervised and certified by the Project Arborist in accordance with AS4970 (2009) (refer to Identified Requirement No. 44).

7.10 Heritage (European / Indigenous)

No heritage items are identified in the City of Parramatta City Council's Section 10.7(2) & (5) Planning Certificates located on or in the vicinity of the site.

Aboriginal Heritage

An Aboriginal Heritage Information Management System (AHIMS) search, dated 14 June 2022 (**Appendix M**) did not find any record of Aboriginal Sites or Places on the site or in the surrounding locality and the site is considered to be disturbed land. Consideration of the *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales*, determined that no additional investigation was warranted. Discovery of cultural material during development activities cannot be ruled out, however, an Identified Requirement has been applied should any Aboriginal relics be discovered on the site during excavation/construction.

Other Cultural Heritage

No cultural heritage items have been identified in the City of Parramatta Council's Section 10.7(2) & (5) Planning Certificates and the likelihood of any heritage relics being discovered during excavation / construction is considered to be minimal.

Mitigation Measures

An Identified Requirement (No. 46) has been applied should any cultural heritage relics be discovered on the site during excavation / construction.

7.11 Soils / Contamination / Acid Sulfate Soils / Salinity

Geotechnical

A Site Investigation Report was prepared by STS GeoEnvironmental.

The subsurface conditions generally consist of topsoil overlying silty clays and weathered sandstone. Topsoil was encountered to approximate depths of 0.3 to 0.4 metres. Natural silty clays underlie the topsoil to depths of 1.2 to 1.6 metres. Hand auger refusal occurred in BH5 at a depth of 0.6 metres. The consistency of the clayey materials range between stiff and very stiff. Weathered sandstone underlies the natural soils to the auger refusal depths of 1.2 to 1.9 metres.

No groundwater was observed in the boreholes during the fieldwork.

Mitigation Measures

An Identified Requirement (No. 13) recommends that sediment control measures be implemented during demolition/construction in accordance with Council requirements and/or the guidelines contained in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).

Contamination

According to Council's Section 10.7(2) & (5) Planning Certificates, the land is not affected by a policy restriction relating to contaminated land.

Mitigation Measures

An Identified Requirement (No. 17) has been recommended to cover the possibility of discovering site contamination during demolition / construction works.

Acid Sulfate Soils

According to Council's Section 10.7(2) & (5) Planning Certificates, the land is identified as being within Class 5 Land on the Acid Sulfate Soil Map under the PLEP2011.

Clause 6.1 of PLEP 2011 requires an Acid Sulfate Soil Management Plan for works on Class 5 Land that is within 500m of adjacent Class 1-4 Land below 5m AHD and by which the water table on adjacent Class 1-4 Land is likely to be lowered by 1m AHD.

The site is located more than 500m from any from Class 1-4 Land and no substantial excavation is proposed. Therefore, it is unlikely that the proposed works will lower the water table of any nearby Class 1-4 Land. Therefore, an Acid Sulfate Management Plan is not required.

Mitigation Measures

No mitigation measures are required.

Salinity

Council's Section 10.7(2) & (5) Planning Certificates indicate that the site is not affected by salinity.

Mitigation Measures

No mitigation measures are required.

7.12 Drainage / Flood Prone Land / Hydrology/ Water Quality

Stormwater drainage for the proposed development has been designed in accordance with Council's requirements. Stormwater will be collected via a series of stormwater pits and gutters on the site connected to an underground detention tank. Roof water will be collected from downpipes and connected to an underground rainwater tank for recycling with overflow connected to the underground detention tank. Stormwater will be connected to the existing network in Brown Street via an easement for drainage over 10 Brown Street.

The Section 10.7(2) & (5) Planning Certificates issued by Council for the subject site indicate that the land is not subject to flood related development controls.

The proposed development has been designed to have no adverse impact on the hydrology or water quality within the local area.

Mitigation Measures

Identified Requirements (Nos. 6-9, 14, 35 & 72) have been recommended to ensure that stormwater drainage is managed in accordance with legislative requirements.

7.13 Bushfire Prone Land

The Section 10.7(2) & (5) Planning Certificates issued by the City of Parramatta Council for the subject site advise that the land is not bushfire prone.

Mitigation Measures

No mitigation measures are required.

7.14 Noise and Vibration

During Demolition / Construction

During demolition/construction typical noise levels associated with demolition/ building works will be generated within the hours of 7am to 5pm Monday to Saturday, consistent with the requirements for complying development.

During Occupation

Noise generated when the proposed buildings are completed and occupied will be entirely in keeping with their residential surroundings. No major plant or equipment, which would generate unacceptable noise during occupation, will be installed in the proposed development.

Buildings will be constructed to comply with the deemed-to-comply provisions of *the Building Code of Australia* with respect to noise transmission. Buildings will also be designed and constructed to achieve internal noise level design targets.

Mitigation Measures

Demolition/construction noise will be controlled to within acceptable limits by sound attenuation measures and undertaking construction activities within EPA/local council requirements.

Buildings will be constructed to comply with the deemed-to-comply provisions of *the Building Code of Australia*.

Appropriate Identified Requirements (Nos. 2, 58 and 60) have been applied to ensure compliance with the above mitigation measures.

7.15 Air Quality

Temporary and localized air quality impacts including dust, smoke, grit, odours, and fumes might be generated during the clearing and excavation of the site and construction of the proposed development.

Mitigation Measures

Appropriate Identified Requirements (Nos. 61 and 65) have been applied that will satisfactorily mitigate any potential or adverse impacts on air quality.

7.16 Waste Minimisation

The following waste minimisation and management measures have been identified and are to be considered in conjunction with the specific details, including the estimated quantities of waste, provided in the final waste management plan to be prepared by the demolition/building contractor.

During Demolition

Demolition materials will be stored wholly within the site prior to removal for recycling or disposal. Demolition waste will be removed from the site to an approved waste management facility or will be recycled, as follows:

- concrete and bricks will be transported to an approved building waste collection facility;
- any asbestos sheeting and fibrous insulation will be handled according to SafeWork NSW requirements and disposed of to an approved building waste collection facility;
- mixed demolition materials will be transported to an approved building waste collection facility; and
- timber, metal, wall and roof cladding and other salvageable materials will be resold to various salvage yards where appropriate or disposed of at an approved building waste collection facility.

Specific intentions for recycling / re-use / disposal of demolition waste will be determined by the demolition contractor prior to commencement of demolition.

During Construction

Construction materials must be stored wholly within the site prior to removal for recycling or disposal. Construction materials waste must be removed from the site to an approved waste management facility or shall be recycled as follows:

- bricks, tile and concrete to be transported to building recycling facility;
- concrete shall be crushed and reused for filling, levelling or temporary road base;
- tiles shall be crushed and reused for filling, levelling or temporary road base;
- timber shall be sent to second hand suppliers;
- plasterboard shall be sent to building recycling facility; and
- metal offcuts from gutter and downpipes, etc. shall be recycled wherever possible.

During Occupation

General and non-recyclable waste will be disposed of in Council's standard waste storage bins located in the garbage storage enclosures and placed on the street kerb by LAHC contractor for collection by Council's waste services.

Paper / metal / glass will be disposed of in Council's standard waste recycling bins to be located in the garbage storage enclosures and placed on the street kerb by LAHC contractor for collection by Council's waste services.

Mitigation Measures

Identified Requirements (Nos. 45, 49-55) are recommended to ensure construction/demolition waste is appropriately managed and disposed of.

An Identified Requirement (No. 46) is recommended to require the preparation of a final waste management plan for the demolition, construction and occupation phases of the development.

7.17 Resource Use & Availability

The proposed activity will not result in any discernable depletion or degradation of natural resources. The proposal has been designed to meet water and energy efficiency targets as demonstrated by the BASIX certificate for the proposal.

The recycling and reuse of materials during demolition, construction and on-going occupation of the proposed development will reduce the consumption of natural resources.

The proposed development is for the replacement of existing housing that has reached the end of its economic lifespan. The proposed development will provide contemporary housing that will satisfy current State Government environmental sustainability requirements, particularly through improved energy and water efficiency. These factors will ensure reduced depletion and degradation of natural resources in the long term.

Mitigation Measures

No additional mitigation measures are required.

7.18 Community / Social Effects

The proposed development will generate a number of positive community and social effects, including:

- assist LAHC in meeting its significant, long-standing and continually-growing demand for social housing in the Parramatta local government area;
- assist LAHC in improving the amenity of accommodation for its tenants, by providing new, more appropriate housing aligning with demand for social housing;
- improve the environmental sustainability of housing on the site, particularly through improved energy and water efficiency; and
- provide more accessible housing on the site.

Mitigation Measures

No mitigation measures are required.

7.19 Economic Impact

The proposed development is likely to contribute to a range of economic benefits in the Parramatta local government and surrounding areas through:

- more efficient use of land resources, existing infrastructure and existing services;
- local sourcing of construction materials;
- the local sourcing of tradesmen and other construction-related professionals;
- on-going consumption from new/ additional households;
- the reduced maintenance costs of the newer housing; and
- savings associated with improved energy and water efficiency.

Mitigation Measures

No mitigation measures are required.

7.20 Cumulative Impact Assessment

The proposed activity is not likely to have singular or cumulative environmental impacts which would result in unacceptable adverse effects for the following reasons:

- the proposed activity will not result in any adverse cumulative impact when considered in conjunction with any other proposals or developments in the area;
- there will be no synergistic effects of individual project impacts from the proposed activity when considered in combination; and
- there are no known environmental stresses in the area of the proposed activity that would be increased.

Mitigation Measures

No mitigation measures are required.

8 Conclusion

8.1 Summary of Key Issues Raised in Assessment

It is considered that the proposed activity, given its scale, location and design, will be sympathetic with its residential environment. Following a review of the site constraints, it has been determined that the subject land does not contain any significant environmental hazards and that there are no key issues that have been identified that require further assessment.

The proposed activity has been considered in terms of the provisions of Section 5.5 of the EP&A Act and Section 171 of the EP&A Regulation. In this regard, it should be noted that following an analysis of the potential impacts associated with the proposed activity it was determined that an environmental impact statement is not required.

As demonstrated in this REF, the proposed activity is considered to be consistent with the relevant objectives and standards set out in the Housing SEPP, PLEP 2011, and the design principles and better practices set out in the relevant guidelines.

In addition, and as demonstrated by the environmental impact analysis and assessment undertaken in this REF, the proposed activity will have environmental impacts that can be mitigated to an acceptable level in accordance with current applicable standards, will have a number of positive environmental effects in terms of the built environment and will deliver a range of social and economic benefits.

The proposed development will enable LAHC to meet the increasing demand for one and two bedroom seniors housing dwellings in the local area. Therefore, the proposed development is considered to be clearly in the public interest.

9 Recommendation

Given the above review of environmental factors, it is recommended that LAHC proceed with the proposed activity subject to the implementation of the Identified Requirements listed in **Appendix C** of this REF.

APPENDIX A – SECTION 10.7 CERTIFICATES

APPENDIX B – NOTIFICATIONS & SUBMISSIONS

APPENDIX C – IDENTIFIED REQUIREMENTS

APPENDIX D – SENIORS LIVING CHECKLIST

APPENDIX E – DEVELOPMENT PLANS

APPENDIX F – ARBORIST’S IMPACT ASSESSMENT AND TREE MANAGEMENT PLAN

APPENDIX G – ACCESS REPORT

APPENDIX H – BASIX & NATHERS CERTIFICATES

APPENDIX I – BCA COMPLIANCE REPORT

APPENDIX J – GEOTECHNICAL INVESTIGATION AND ACID SULFATE SOIL ASSESSMENT

APPENDIX K – WASTE MANAGEMENT PLAN

APPENDIX L – TRAFFIC IMPACT ASSESSMENT

APPENDIX M – AHIMS SEARCH

APPENDIX N – TITLES AND DEPOSITED PLAN

APPENDIX O – DETAILED SURVEY

APPENDIX P – DESIGN COMPLIANCE CERTIFICATES